

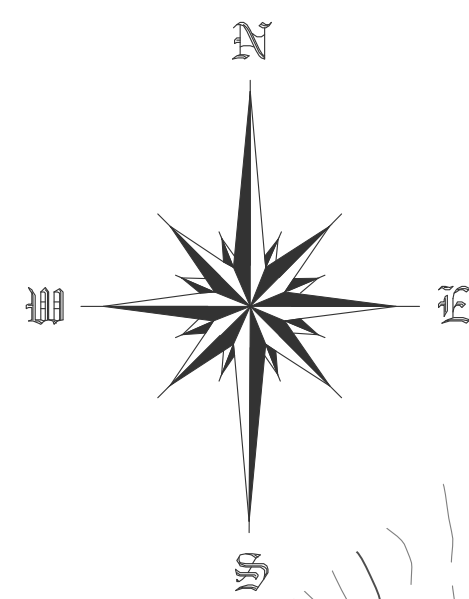
REFERENCE: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

**VICINITY MAP**

SCALE: 1" = 1,000'

2  
1 OF 5

DISTANCE & BEARING CHART		
L1	S 63°30'40" W	250.49'
L2	S 53°05'30" W	85.68'
L3	S 54°27'00" W	117.66'
L4	S 51°32'30" W	94.88'
L5	S 47°22'10" W	122.71'
L6	S 45°41'40" W	316.38'
L7	N 43°05'45" W	25.01'
L8	S 45°41'40" W	316.22'
L9	S 47°22'10" W	123.99'
L10	S 51°32'30" W	96.43'
L11	S 54°27'00" W	118.00'
L12	S 53°05'30" W	87.66'
L13	S 63°30'40" W	247.40'
L14	S 38°36'00" E	25.57'



**REFERENCE MAP:**

MAP ENTITLED, "SURVEY MAP OF LANDS FOR MONOPOLY HOLDINGS L.L.C.", PREPARED BY DANIEL J. O'BRIEN, PROFESSIONAL LAND SURVEYOR, DATED JULY 23, 2020 AS FILE #20-130.

**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: RR (RURAL RESIDENTIAL)

	MINIMUM REQUIREMENTS	EXISTING
LOT AREA:	1 ACRE	32.95± ACRES
GROSS:		31.91± ACRES
NET:		985.8± FEET
LOT WIDTH:	200 FEET	1197.5± FEET
LOT DEPTH:	200 FEET	1048.1± FEET
FRONT YARD:	35 FEET	118.1± FEET
REAR YARD:	35 FEET	519.8± FEET
SIDE YARD:	35 FEET	> 1,000 S.F.
FLOOR AREA:	1,000 S.F.	
	MAXIMUM PERMITTED	
BLDG. HEIGHT:	35 FEET	< 35 FEET
BLDG. COVERAGE:	20 %	< 20 %
IMP. COVERAGE:	70 %	< 70 %

**LEGEND**

- PROPERTY MARKER
- UTILITY POLE OVERHEAD UTILITIES
- SOIL LINES
- PROPOSED PROPERTY LINE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- N/F NOW OR FORMERLY
- 910 CONTOUR LINES
- ▨ EXISTING DWELLING

**STATUTORY PLAT NOTES**

- OWNER OF RECORD / APPLICANT: ELIZABETH & THOMAS SULLIVAN, 122 BERME ROAD, PORT JERVIS, NY 12771
- TAX MAP DESIGNATION: SECTION 13 BLOCK 1 LOT 4.12
- PARCELS ZONED: RR (RURAL RESIDENTIAL)
- TOTAL AREA: GROSS: 1,435,454 S.F. / 32.95± ACRES; NET: 1,390,323 S.F. / 31.91± ACRES
- EXISTING NO. OF LOTS: 1; PROPOSED NO. OF LOTS: 4
- PROPOSED LOT 1: GROSS: 542,570 S.F. / 12.46± ACRES; NET: 532,738 S.F. / 12.23± ACRES; PROPOSED LOT 2: GROSS: 294,207 S.F. / 6.75± ACRES; NET: 272,250 S.F. / 6.25± ACRES; PROPOSED LOT 3: GROSS: 297,314 S.F. / 6.76± ACRES; NET: 288,308 S.F. / 6.62± ACRES; PROPOSED LOT 4: GROSS: 304,351 S.F. / 6.98± ACRES; NET: 298,167 S.F. / 6.84± ACRES
- ALL KNOWN WELLS AND SEPTICS WITHIN 200 FEET OF THE PROPOSED WELLS AND SEPTICS HAVE BEEN SHOWN.
- PROPOSED WASTEWATER SYSTEMS FOR THE NEW LOTS TO BE SERVICED BY A BELOW GRADE ON-SITE SANITARY DISPOSAL SYSTEM DESIGNED BY A LICENSED ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH THIS DESIGN UNDER REVIEW BY THE ENGINEER IN ACCORDANCE WITH THE ORANGE COUNTY LAWS, RULES AND REGULATIONS.
- VERIFICATION OF SUITABLE TRENCH BOTTOM SOIL CONDITIONS TO BE MADE BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL STAKE OUT THE LOCATION OF THE WELL AND SUBSURFACE WASTEWATER DISPOSAL SYSTEM.
- SOILS SHOWN ARE BASED ON AVAILABLE DATA FROM THE ORANGE COUNTY GEOLOGICAL INFORMATION SYSTEMS WEBSITE.
- PROPOSED WATER SUPPLY FOR THE NEW LOTS WILL BE PROVIDED BY ON-SITE DRILLED WELLS.
- ALL EROSION CONTROL DEVICES ARE TO BE SET IN PLACE PRIOR TO ANY LAND DISTURBANCE. DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN BUILDING INSPECTOR AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL EROSION CONTROL DEVICES ARE REQUIRED, THEY SHALL BE INSTALLED IMMEDIATELY BY THE DEVELOPER AT NO COST TO THE TOWN.
- DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL DRAINAGE FACILITIES ARE REQUIRED TO PROVIDE POSITIVE DRAINAGE WITHIN THE RIGHT-OF-WAY OR ADJACENT PROPERTY, THEY SHALL BE INSTALLED BY THE DEVELOPER AT NO COST TO THE TOWN.
- ALL EMBANKMENTS ARE TO BE GRADED AND SEEDING IMMEDIATELY UPON BEING LAID BACK.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT DRIVEWAY ENTRANCE ON TOWN ROADS.
- PARCEL IS NOT LOCATED IN A FLOOD ZONE PER FEMA MAP NUMBER 36071C0205E, EFFECTIVE 8/03/2009.
- NO WETLANDS EXIST ON THE SUBJECT PARCEL PER THE NATIONAL WETLANDS ENVIRONMENTAL MAPPER.
- PRIOR TO THE INITIATION OF CONSTRUCTION ON ANY BUILDING LOT WHICH GAINS ACCESS FROM A TOWN ROAD, THE APPLICANT WILL BE REQUIRED TO OBTAIN A DRIVEWAY PERMIT FROM THE TOWN HIGHWAY SUPERINTENDENT.
- THE APPROVED PLAT MUST BE FILED IN THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO THE OFFERING OF LOT FOR SALE, AND WITHIN 62 DAYS OF FINAL APPROVAL.
- THE PURCHASER OF THE NEW LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT SURVEY.

**SURVEYOR RESPONSIBILITIES**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

I HEREBY CERTIFY THAT THIS SUBDIVISION IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE UNDERSIGNED ON JULY 23, 2020.

DATE: \_\_\_\_\_  
NEW YORK STATE P. L. S. LICENSE NO. 049820-1

**DRAWING LIST**

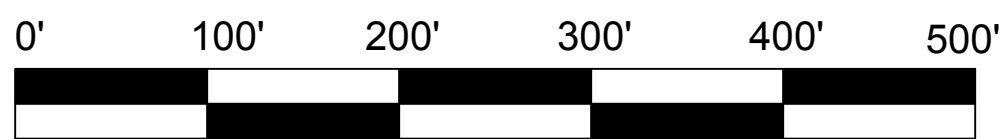
1 OF 5	PRELIMINARY PLAT
2 OF 5	SUBDIVISION DETAIL PLAN
3 OF 5	DRIVEWAY PROFILES
4 OF 5	SITE DETAILS
5 OF 5	SEPTIC DETAILS

REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	09/16/20	
DL	1	REVISED PER TOWN COMMENT	11/06/20	

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536  
**JOHN D. FULLER, P.E., P.C.**  
PINE VIEW SUBDIVISION  
76 WHITEHEAD ROAD  
SECTION 13 BLOCK 1 LOT 4.12  
TOWN OF DEERPARK, NY

DWG TITLE: **PRELIMINARY PLAT** DWG NO: **1 OF 5**  
SCALE: AS NOTED JOB NO: 2752.001



SCALE: 1" = 100'

**PRELIMINARY PLAT**

SCALE: 1" = 100'

1  
1 OF 5

THIS PLAN CONTAINS 5 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.



**ELEVATION CHART**

	LOT 1	LOT 2	LOT 3	LOT 4
FIRST FLOOR	1158±	1166±	1173±	1185±
SEPTIC TANK (IN/OUT)	1153.17± / 1152.42±	1161.17± / 1160.92±	1171.67± / 1171.42±	1180.17± / 1179.92±
DIST. BOX (IN/OUT)	1150.46± / 1150.26±	1159.66± / 1159.46±	1168.36± / 1168.16±	1177.46± / 1177.26±
FIRST LATERAL	1150.24±	1159.44±	1168.14±	1177.24±
LOWEST SEWERABLE ELEVATION	1153.37±	1161.37±	1171.87±	1180.37±

**PERCOLATION TEST RESULTS**

DATE	TEST NO.	DEPTH OF HOLE (IN.)	STABILIZED RATE (MIN.)	DESIGN RATE (MIN.)
09/11/20	LOT 1/P1	24	13:45	
09/11/20	LOT 1/P2	24	27:10	
*	LOT 1/P3	24		
09/11/20	LOT 1/P1	24	9:55	
09/11/20	LOT 1/P2	24	12:55	
*	LOT 1/P3	24		
09/11/20	LOT 1/P1	24	16:50	
09/11/20	LOT 1/P2	24	16:05	
*	LOT 1/P3	24		
09/11/20	LOT 1/P1	24	11:45	
09/11/20	LOT 1/P2	24	20:00	
*	LOT 1/P3	24		

**DEEP PIT TEST RESULTS**

LOT 1/T1 - 09/11/20	LOT 1/T2 - 09/11/20	LOT 1/T3 - *
0'-3" TOPSOIL W/ ROCK 3'-24" GOLDEN BROWN SANDY LOAM W/ ROCK 24"-72" LIGHT BROWN SANDY LOAM W/ ROCK NO WATER NO LEDGE NO MOTTLING	0'-3" TOPSOIL W/ ROCK 3'-27" GOLDEN BROWN SANDY LOAM W/ ROCK 27"-72" LIGHT BROWN SANDY LOAM W/ ROCK NO WATER NO LEDGE NO MOTTLING	
LOT 2/T1 - 09/11/20	LOT 2/T2 - 09/11/20	LOT 2/T3 - *
0'-4" TOPSOIL W/ ROCK 4'-24" GOLDEN BROWN SANDY LOAM W/ ROCK 24"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	0'-4" TOPSOIL W/ ROCK 4'-27" GOLDEN BROWN SANDY LOAM W/ ROCK 27"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	
LOT 3/T1 - 09/11/20	LOT 3/T2 - 09/11/20	LOT 3/T3 - *
0'-3" TOPSOIL W/ ROCK 3'-20" GOLDEN BROWN SANDY LOAM W/ ROCK 20"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	0'-3" TOPSOIL W/ ROCK 3'-18" GOLDEN BROWN SANDY LOAM W/ ROCK 18"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	
LOT 4/T1 - 09/11/20	LOT 4/T2 - 09/11/20	LOT 4/T3 - *
0'-4" TOPSOIL W/ ROCK 4'-26" GOLDEN BROWN SANDY LOAM W/ ROCK 26"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	0'-3" TOPSOIL W/ ROCK 3'-21" GOLDEN BROWN SANDY LOAM W/ ROCK 21"-72" LIGHT BROWN SANDY LOAM W/ GRAVEL & ROCK NO WATER NO LEDGE NO MOTTLING	

**LEGEND**

- PROPERTY MARKER
- ⊙ EXISTING WELL
- N/F NOW OR FORMERLY
- OVERHEAD UTILITIES
- CONTOUR LINES
- SXC SOIL TYPE
- DISTURBANCE LIMITS
- PROPOSED CONSTRUCTION ENTRANCE
- SILT FENCE
- PROPOSED 20' APRON
- PROPERTY LINE
- PROPOSED PROPERTY LINE
- SETBACK LINE
- ▭ EXISTING DWELLING
- ▭ PROPOSED DWELLING
- PROPOSED SEPTIC TANK
- PROPOSED SEPTIC SYSTEM LOCATION
- △ APPROXIMATE LOCATION OF SOIL TESTING
- PROPOSED DRIVEWAY
- PROPOSED GRADING
- EASEMENT LINE

**SANITARY NOTES**

- DRIVEWAYS AND OTHER STRUCTURES WHICH MAY COMPACT THE SOILS SHALL NOT BE CONSTRUCTED ON TOP OF ABSORPTION FIELD.
- SEPTIC TANKS TO BE REINFORCED CONCRETE. SEE SANITARY REQ. CHART FOR CAPACITY.
- MIN. DISTANCE BUILDING TO ABSORPTION FIELD IS 20'.
- PIPE FROM BUILDING TO SEPTIC TANK TO BE STRAIGHT.
- SEPTIC TANK INLETS TO BE OPPOSITE OUTLETS.
- DO NOT GRADE IN AREA TO BE USED FOR ABSORPTION FIELD.
- NO CELLAR, FOOTING OR ROOF DRAINS SHALL DISCHARGE INTO SEPTIC TANKS OR DRAIN FIELDS.
- WELL MUST BE AT LEAST 100 FT. AWAY FROM LOWER TILE FIELD, AND 200 FT. AWAY FROM HIGHER TILE FIELD IN THE DIRECT LINE OF DRAINAGE.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER) SHALL NOT BE CHANGED.
- WHEN WELLS ARE WITHIN 25' OF THE FOOTING DRILL, THE DISCHARGE PIPE SHOULD BE WATERTIGHT.
- VERIFICATION OF SUITABLE TRENCH BOTTOM SOIL CONDITIONS TO BE MADE BY A LICENSED PROFESSIONAL ENGINEER.
- THE SEWER DISPOSAL SYSTEM SHALL BE DESIGNED, LOCATED AND CONSTRUCTED TO ALLOW FOR A 50% EXPANSION CAPABILITY FOR FUTURE USE.
- DIVERSION SWALES TO BE LOCATED UPHILL FROM THE SEWAGE DISPOSAL AREA. THE DIVERSION SWALES ARE TO DIVERT RUNOFF AWAY FROM THE SEWAGE DISPOSAL AREA AND THE FUTURE EXPANSION AREA.
- ALL ON SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE BUILT IN ACCORDANCE WITH DESIGN STANDARDS FOR WASTEWATER TREATMENT WORKS DESIGN HANDBOOK OF THE N.Y.S. DEPT. OF HEALTH STANDARDS.
- ALL SUBSURFACE SANITARY SYSTEMS ARE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE LATEST EDITION STANDARDS OF THE N.Y.S. DEPT. OF HEALTH STANDARDS. SEPTIC TANK JOINTS ARE TO BE SEALED AND TESTED FOR WATERTIGHTNESS. CONSTRUCTION WILL BE SUPERVISED, INSPECTED AND CERTIFIED TO THE TOWN OFFICIALS AND THE N.Y.S. DEPARTMENT OF HEALTH STANDARDS AS COMPLETE IN ACCORDANCE WITH THE APPROVED PLAN AND DEPARTMENT OF HEALTH STANDARDS BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE ABSORPTION FIELD AREA. THERE IS TO BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT BEFORE, DURING OR AFTER CONSTRUCTION.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SEWAGE DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.

**AREA OF DISTURBANCE**

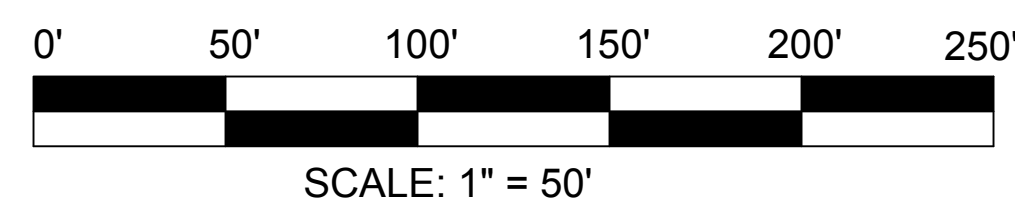
LOT 1	19,114 S.F. / 0.44± ACRES
LOT 2	18,368 S.F. / 0.42± ACRES
LOT 3	16,336 S.F. / 0.38± ACRES
LOT 4	21,130 S.F. / 0.49± ACRES
TOTAL ALL LOTS: 74,946 S.F. / 1.73± ACRES	

**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: RR (RURAL RESIDENTIAL)

MINIMUM REQUIREMENTS	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA: GROSS: 1 ACRE	12.46± ACRES	6.75± ACRES	6.75± ACRES	6.98± ACRES
NET: 200 FEET	12.23± ACRES	6.25± ACRES	6.25± ACRES	6.84± ACRES
LOT WIDTH: 200 FEET	264.2± FEET	240.7± FEET	240.1± FEET	246.4± FEET
FRONT YARD: 35 FEET	122.5± FEET	120.5± FEET	120.2± FEET	122.8± FEET
REAR YARD: 35 FEET	252.5± FEET	283.5± FEET	219.2± FEET	252.2± FEET
SIDE YARD: 35 FEET	927.2± FEET	875.4± FEET	946.3± FEET	938.3± FEET
FLOOR AREA: 1,000 S.F.	54.7± FEET	68.2± FEET	92.1± FEET	74.8± FEET
MAXIMUM PERMITTED	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.
BLDG. HEIGHT: 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
BLDG. COVERAGE: 20 %	< 20 %	< 20 %	< 20 %	< 20 %
IMP. COVERAGE: 70 %	< 70 %	< 70 %	< 70 %	< 70 %

NOTE: SOIL TESTING SHALL BE PERFORMED BY THE DESIGN ENGINEER PRIOR TO APPROVAL. A DESIGN RATE OF 12-30 MINUTES / INCH IS USED TO DEMONSTRATE THAT A SEPTIC SYSTEM CAN BE CONSTRUCTED AND MEET SETBACK REQUIREMENTS.



**SUBDIVISION DETAIL PLAN**

SCALE: 1" = 50'

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THIS PLAN CONTAINS 5 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

\*TO BE WITNESSED BY A TOWN OF DEERPARK REPRESENTATIVE

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

PINE VIEW SUBDIVISION  
76 WHITEHEAD ROAD  
SECTION 13 BLOCK 1 LOT 4.12  
TOWN OF DEERPARK, NY

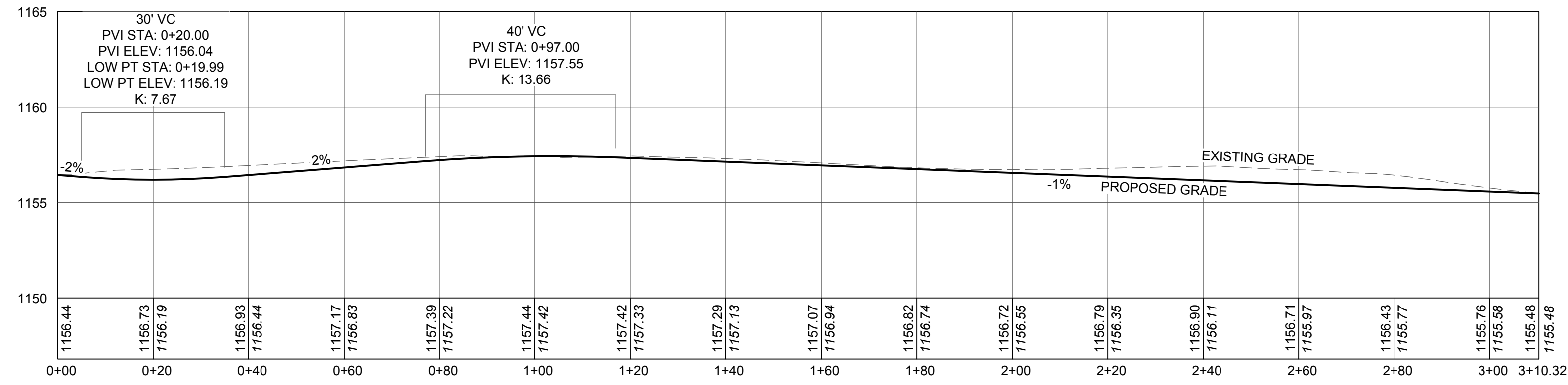
DWG TITLE: SUBDIVISION DETAIL PLAN DWG NO: 2 OF 5  
SCALE: AS NOTED JOB NO: 2752.001

REVISED		DESCRIPTION	DATE	APPROVED
DWN BY	REV			
DL	0	FOR APPROVAL	09/16/20	
DL	1	REVISED PER TOWN COMMENT	11/06/20	

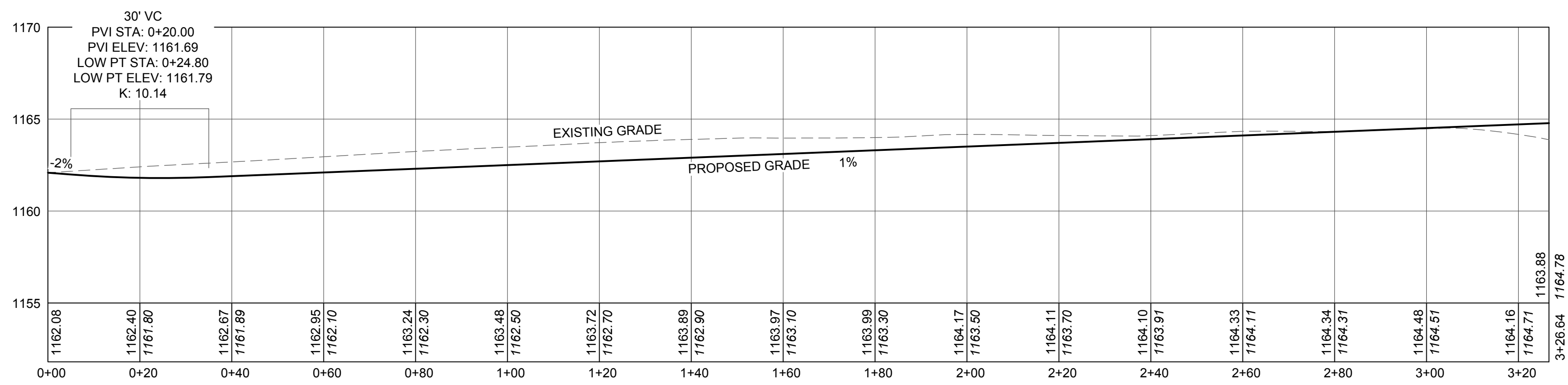
*John D. Fuller*

JOHN D. FULLER  
REG. NO. 077703

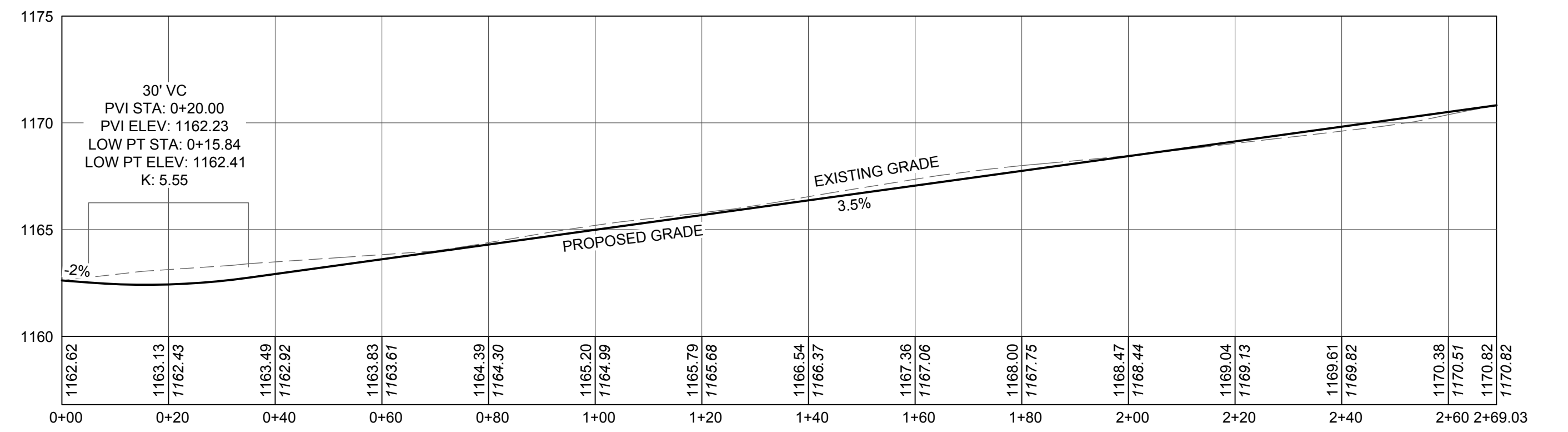




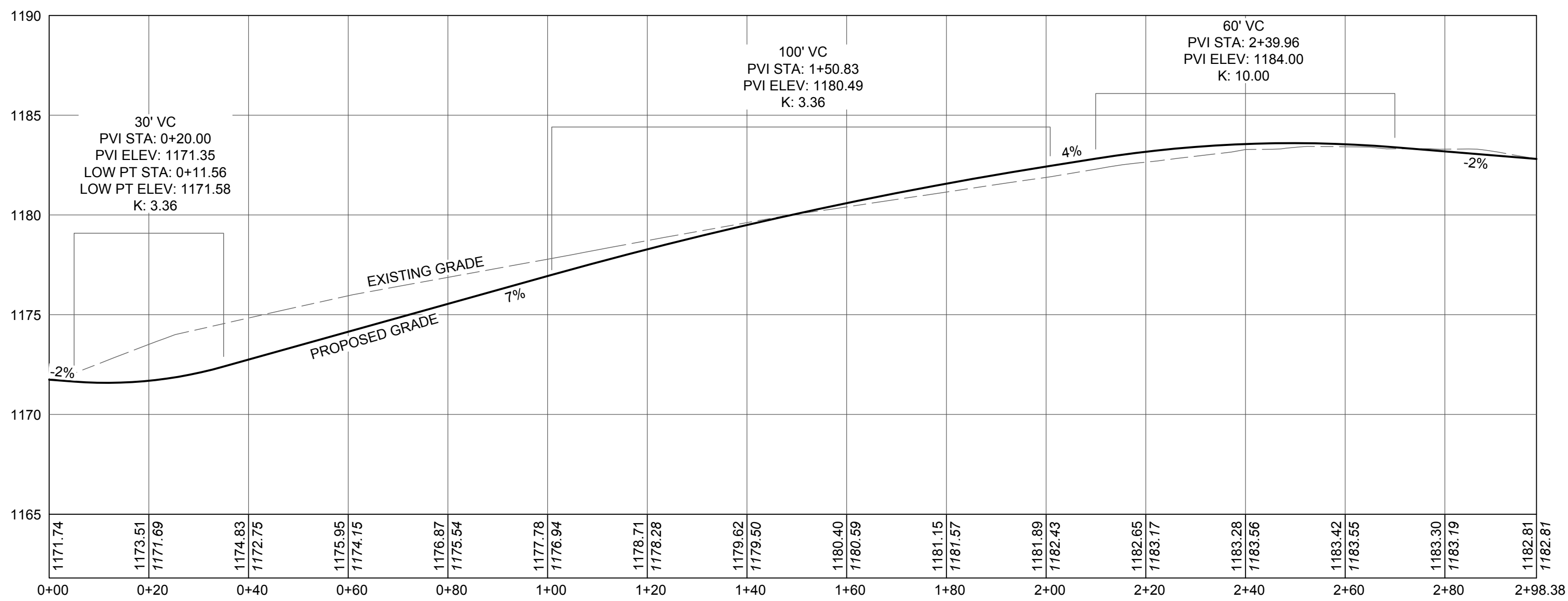
**DRIVEWAY PROFILE LOT 1** 1  
 SCALE: HORZ: 1"=20'  
 VERT: 1"=5'  
 3 OF 5



**DRIVEWAY PROFILE LOT 2** 2  
 SCALE: HORZ: 1"=20'  
 VERT: 1"=5'  
 3 OF 5



**DRIVEWAY PROFILE LOT 3** 3  
 SCALE: HORZ: 1"=20'  
 VERT: 1"=5'  
 3 OF 5



**DRIVEWAY PROFILE LOT 4** 4  
 SCALE: HORZ: 1"=20'  
 VERT: 1"=5'  
 3 OF 5

**NOTES**

1. ALL DRIVEWAYS SHALL PROVIDE INTERNAL TURN-AROUNDS.
2. ANY DRIVEWAY OVER 200' IN LENGTH SHALL BE CONSTRUCTED SO THAT NO SURFACE OR DRIVEWAY SURFACE WATER RUNS DOWN THE DRIVEWAY.
3. THE DRIVEWAY ENTRANCES SHALL BE PAVED FOR A MINIMUM OF 20 FEET IN LENGTH.
4. CULVERT REQUIREMENTS ARE 15" IN DIAMETER HDPE WITH FLARED END SECTIONS, MINIMUM OF 5 FEET FROM EDGE OF ROAD PAVEMENT.
5. ALL CUT MATERIAL SHALL BE TAKEN AWAY FROM THE DRIVEWAY LOCATION TO AVOID SEDIMENTATION OF THE NEW CONSTRUCTION.
6. ANY FILL SECTIONS SHALL BE COMPACTED TO A 70% PROCTOR.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	09/16/20	
DL	1	REVISED PER TOWN COMMENT	11/06/20	

*John D. Fuller*  
 JOHN D. FULLER  
 REG. NO. 077703

TOWN OF DEERPARK  
 PLANNING BOARD APPROVAL

---

4 SOUTH STREET  
 PORT JERVIS, NY 12771  
 (845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

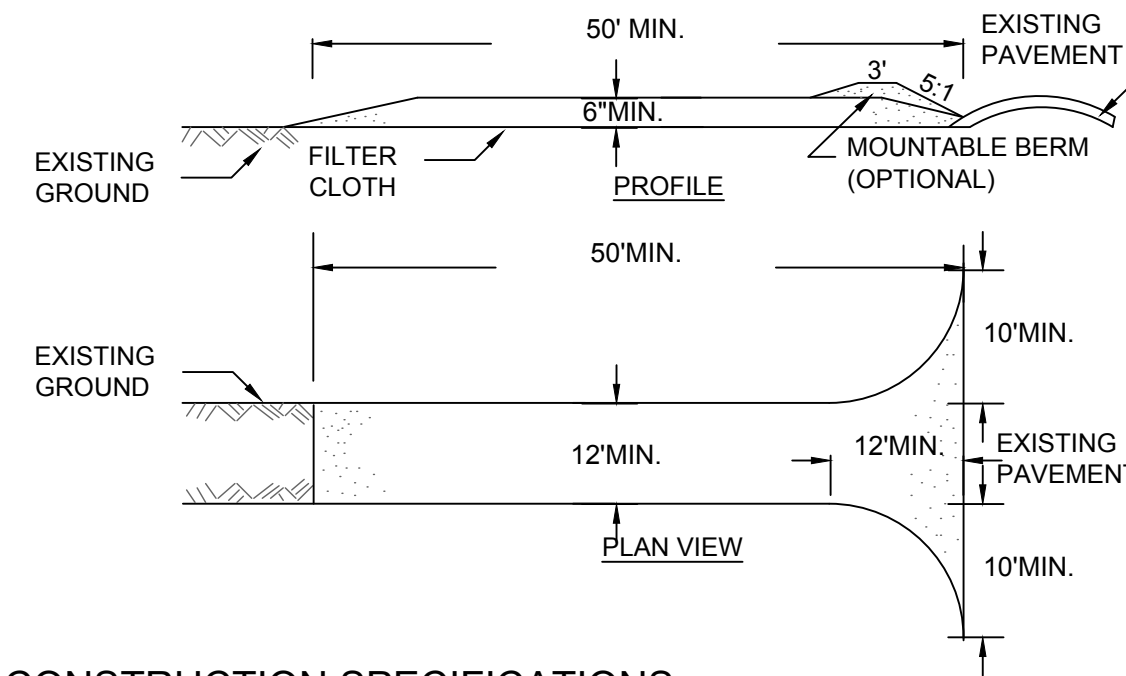
PINE VIEW SUBDIVISION  
 76 WHITEHEAD ROAD  
 SECTION 13 BLOCK 1 LOT 4.12  
 TOWN OF DEERPARK, NY

DWG TITLE: **DRIVEWAY PROFILES** DWG NO: **3 OF 5**

SCALE: AS NOTED JOB NO: 2752.001

## EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.



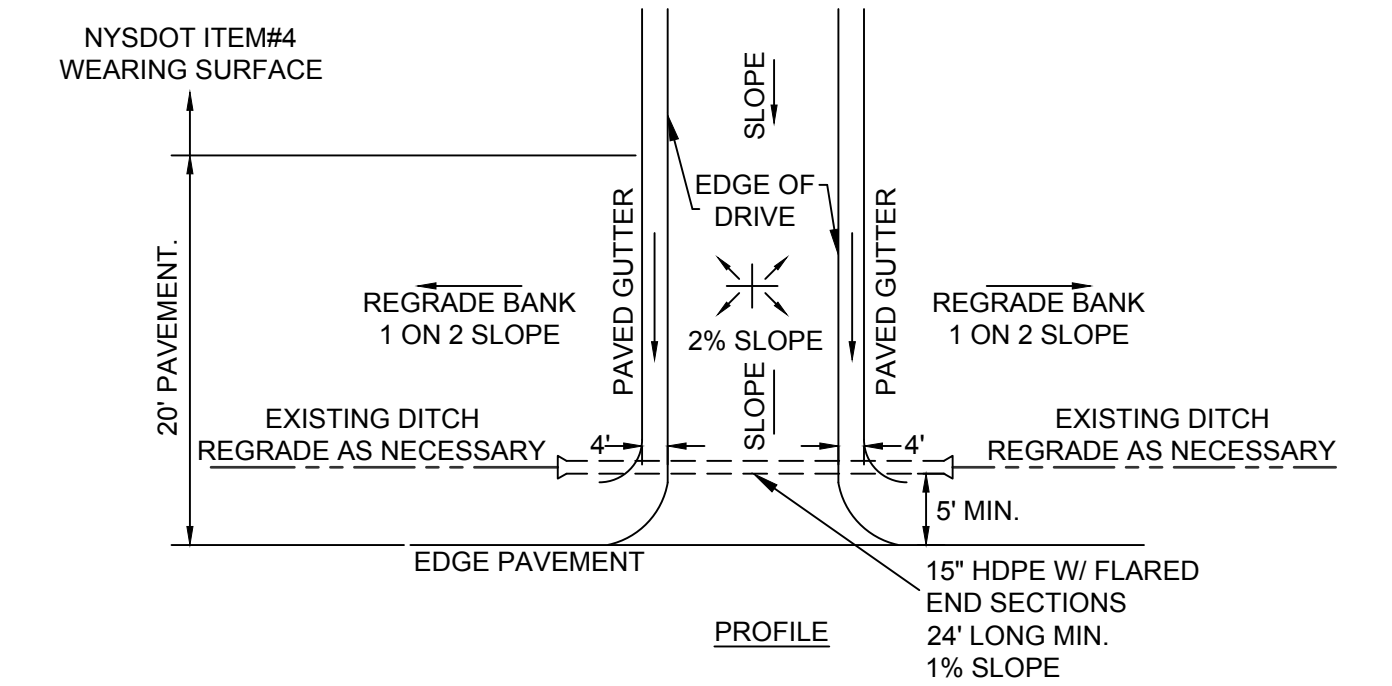
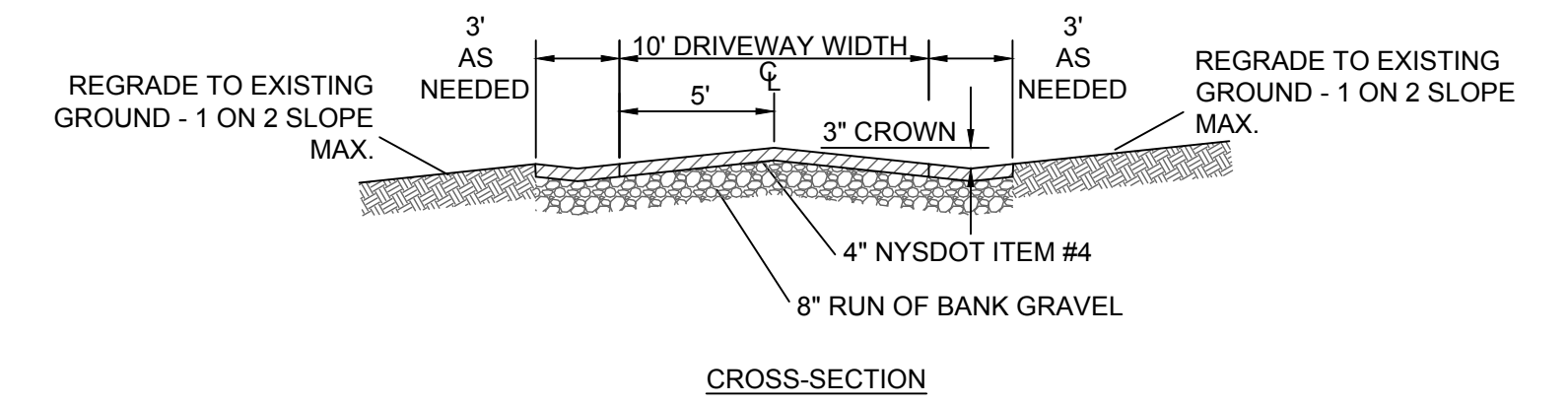
### CONSTRUCTION SPECIFICATIONS

- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS = NOT LESS THAN SIX (6) INCHES.
- WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

### CONSTRUCTION ENTRANCE

SCALE: N. T. S.

2  
4 OF 5



### DRIVEWAY CONSTRUCTION

SCALE: N. T. S.

3  
4 OF 5

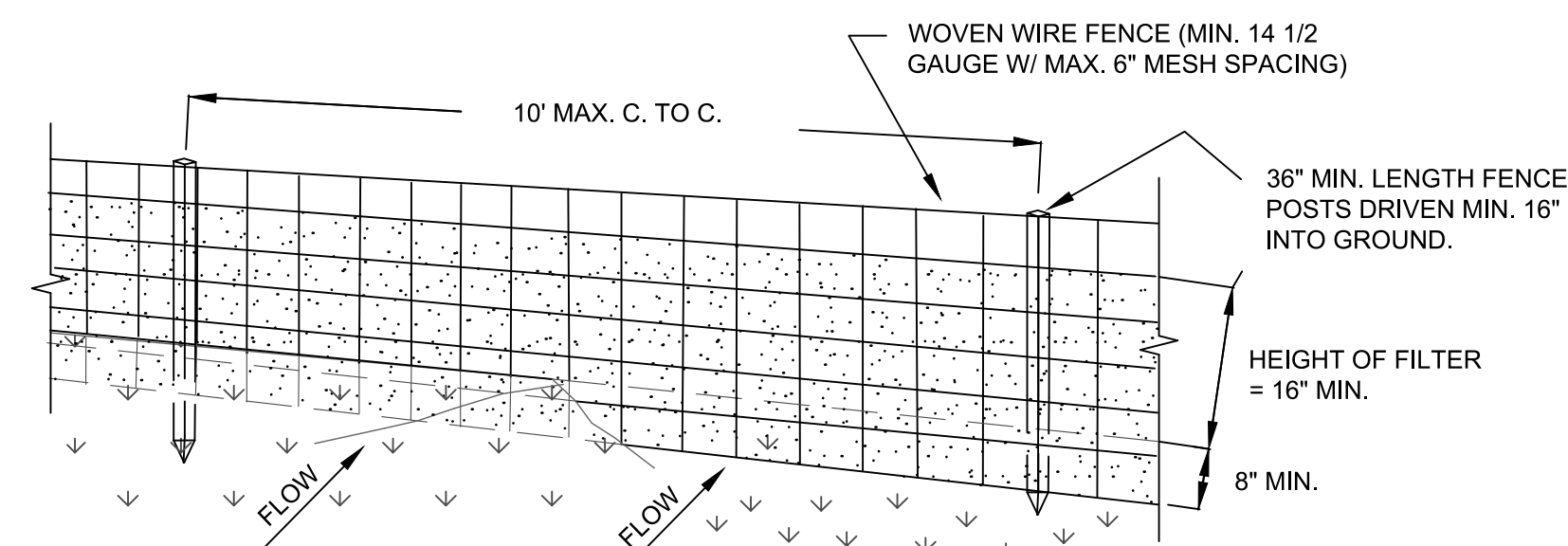
## SEEDING AND MULCHING SPECIFICATIONS

### TEMPORARY STABILIZATION:

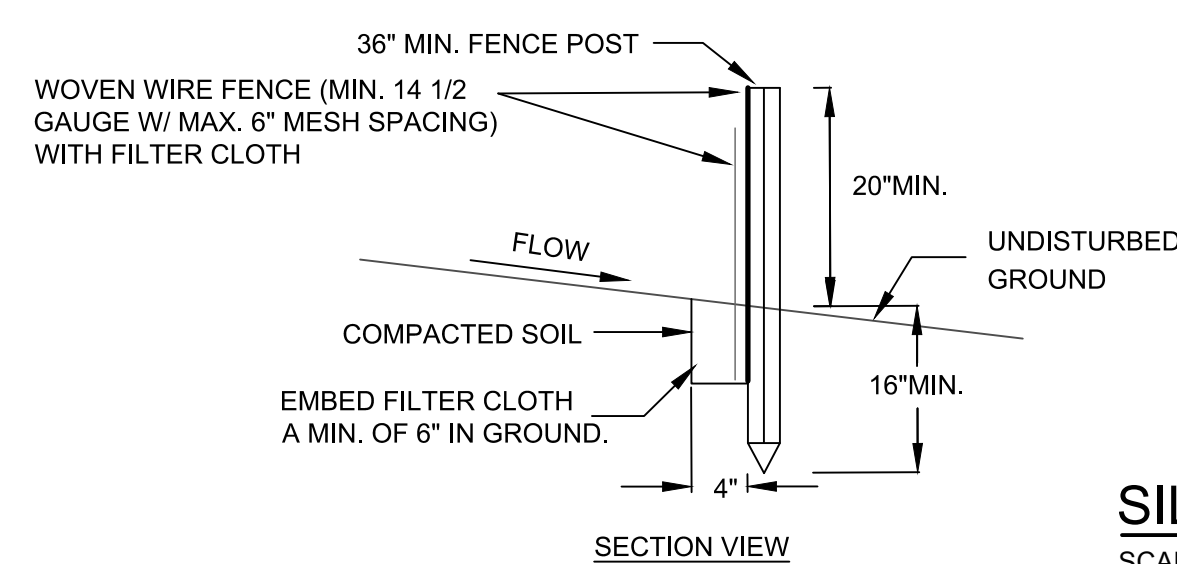
	TYPE	RATE
SEED	ANNUAL RYE GRASS	1 LB/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	1.0 TONS/ACRE
FERTILIZER	10-20-10	50 LBS./ACRE

### PERMANENT STABILIZATION:

	TYPE	RATE
SEED	PERENNIAL RYE GRASS (20%)	0.45 LBS/1,000 SQ FT
	REDTOP (50%)	0.35 LBS/1,000 SQ FT
	ORCHARD GRASS (30%)	1.4 LBS/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	6.0 TONS/ACRE
FERTILIZER	10-20-10	1,000 LBS./ACRE



### PERSPECTIVE VIEW



### SECTION VIEW

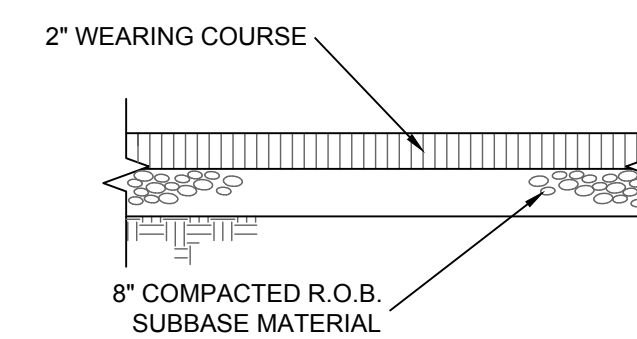
### SILT FENCE DETAIL

SCALE: NTS

1  
4 OF 5

### CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



### PAVING DETAIL (APRON)

SCALE: N. T. S.

4  
4 OF 5

THIS PLAN CONTAINS 5 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	09/16/20	
DL	1	REVISED PER TOWN COMMENT	11/06/20	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK PLANNING BOARD APPROVAL	
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET PORT JERVIS, NY 12771 (845) 856-1536	
PINE VIEW SUBDIVISION 76 WHITEHEAD ROAD SECTION 13 BLOCK 1 LOT 4.12 TOWN OF DEERPARK, NY	
DWG TITLE <b>SITE DETAILS</b>	DWG NO. <b>4 OF 5</b>
SCALE AS NOTED	JOB NO. 2752.001



**MINIMUM SEPARATION DISTANCE (FEET) FROM**

SYSTEM COMPONENTS	WELL OR SUCTION LINE (e) (g)	TO STREAM, LAKE, WATERCOURSE (b) OR WETLAND	TO DWELLING	PROPERTY LINE	DRAINAGE DITCH OR RAIN GARDENS (h)
HOUSE SEWER (WATERTIGHT JOINTS)	25' IF CAST IRON, 50' OTHERWISE	25'	3'	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD (c) (d)	100' (a)	100'	20'	10'	20'
SEEPAGE PIT (e)	150' (a)	100'	20'	10'	20'
RAISED OR MOUND SYSTEM (c) (d)	100' (a)	100'	20'	10'	20'
INTERMITTENT SAND FILTER (d)	100' (a) (f)	100' (f)	20'	10'	20'
NON-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50'	50'	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100'	50'	20'	10'	20'

- WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
- MEAN HIGH WATER MARK. WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSDEC REGIONAL OFFICE.
- FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN SECTION 9.12.2 OF THE HANDBOOK.
- SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA (i.e. RESERVE AREA) WHEN AVAILABLE.
- THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (e.g. PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL WATER SERVICE LINE).
- WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.
- THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
- RECOMMENDED: USE SITE EVALUATION TO AVOID OWT'S SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWT'S FUNCTIONALITY.

EMBANKMENT OR VERY STEEP SLOPE: IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 25 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 50 FEET FROM AN EMBANKMENT OR VERY STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).

SWIMMING POOLS (ABOVE OR BELOW GROUND): IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 20 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 35 FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON OWT'S ACCESSIBILITY AND FUNCTIONALITY.

LOT NO.	PERC. RATE (MIN.)	TRENCH MIN. WIDTH INCHES	LENGTH OF TILE FIELD REQUIRED (LIN. FT.)			4 BEDROOM
			2 BR.	3 BR.	4 BR.	
	1-5	24	92	138	184	8 LATERALS @ 46 L.F. = 368 L.F. TOTAL PROVIDED
	6-7	24	110	165	220	
	8-10	24	123	184	245	
	11-15	24	138	207	275	
	16-20	24	158	236	315	
	21-30	24	184	275	367	
	31-45	24	220	330	440	
	46-60	24	245	367	489	
SIZE OF SEPTIC TANK REQUIRED (GAL.)			1000	1250		

NOTE: DESIGN BASED ON 130 GPD PER BEDROOM

**MINIMUM SEPTIC TANK CAPACITIES**

NUMBER OF BEDROOMS	MINIMUM TANK CAPACITY (GALLONS)	MINIMUM LIQUID SURFACE AREA (SQ. FT.)
1, 2, OR 3	1,000	27
4	1,250	34
5	1,500	40
6	1,750	47

NOTE: TANK SIZE REQUIREMENTS FOR MORE THAN SIX BEDROOMS SHALL BE CALCULATED BY ADDING 250 GALLONS AND SEVEN SQUARE FEET OF SURFACE AREA FOR EACH ADDITIONAL BEDROOM. A GARAGE GRINDER SHALL BE CONSIDERED EQUIVALENT TO AN ADDITIONAL BEDROOM FOR DETERMINING TANK SIZE. A HOT TUB/SPA SHOULD BE CONSIDERED EQUIVALENT TO AN ADDITIONAL BEDROOM FOR DETERMINING TANK SIZE.

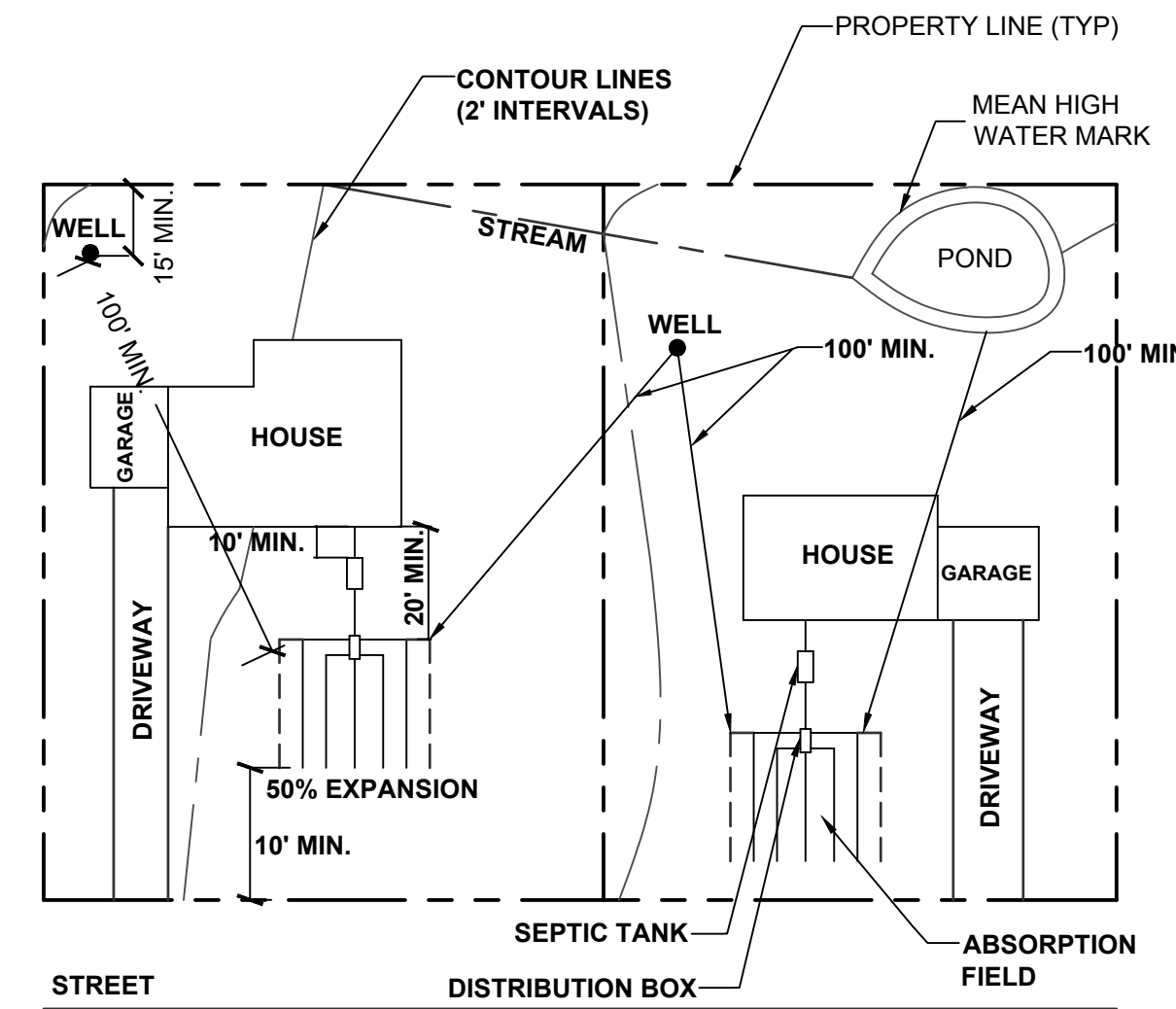
TOWN OF DEERPARK PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536  
**JOHN D. FULLER, P.E., P.C.**

PINE VIEW SUBDIVISION  
76 WHITEHEAD ROAD  
SECTION 13 BLOCK 1 LOT 4.12  
TOWN OF DEERPARK, NY

DWG TITLE: **SEPTIC DETAILS** DWG NO: **5 OF 5**  
SCALE: AS NOTED JOB NO: 2752.001

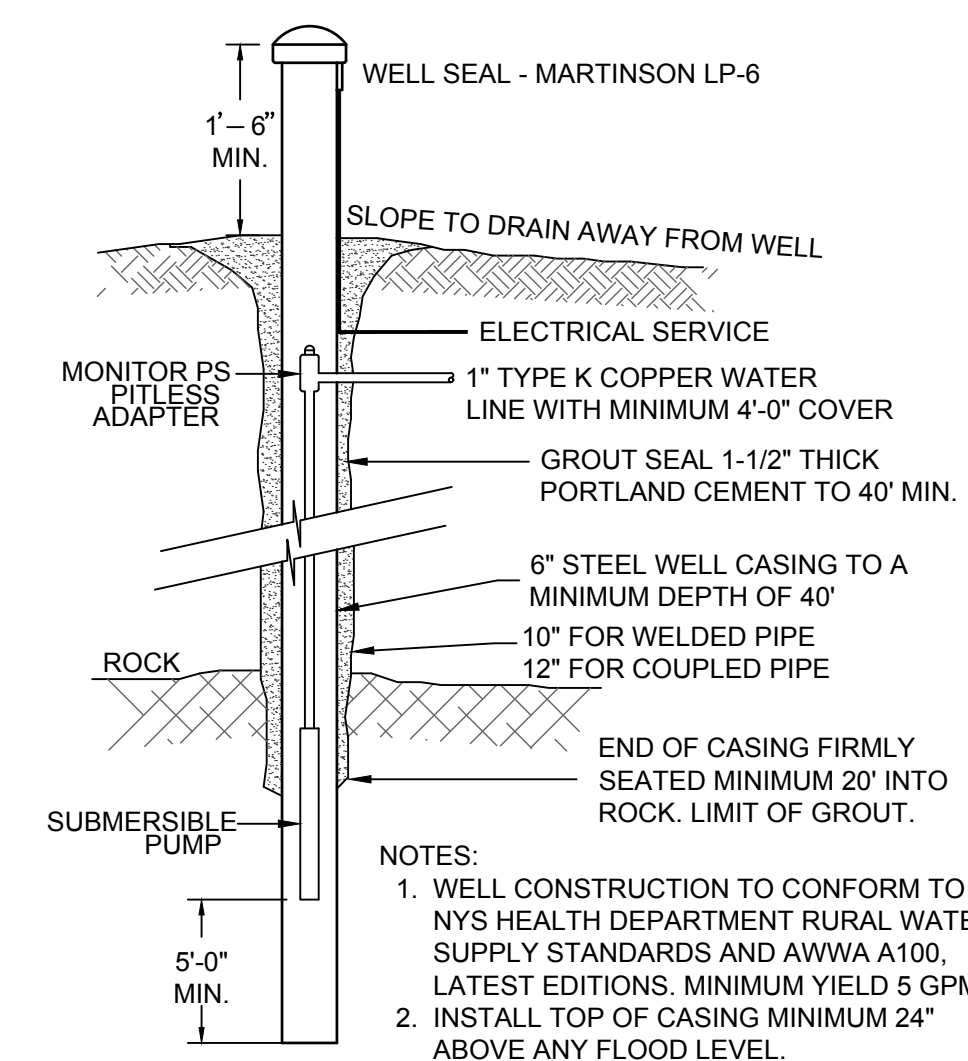
JOHN D. FULLER  
REG. NO. 077703



- NOTES:**
- NO TILE FIELD TO BE WITHIN 100 FEET OF A WATERCOURSE.
  - MINIMUM DISTANCE BETWEEN THE BUILDING WATER SERVICE AND SEWERAGE TO BE 10FT.
  - NO TILE FIELD TO BE WITHIN 50 FT. OF A DRAINAGE DITCH.

**TYPICAL LOT DIMENSIONS**

SCALE: N.T.S.



- NOTES:**
- WELL CONSTRUCTION TO CONFORM TO NYS HEALTH DEPARTMENT RURAL WATER SUPPLY STANDARDS AND AWWA A100, LATEST EDITIONS. MINIMUM YIELD 5 GPM
  - INSTALL TOP OF CASING MINIMUM 24" ABOVE ANY FLOOD LEVEL.

**TYPICAL 6" WELL**

SCALE: N.T.S.

**WATER SYSTEM NOTES**

- WELL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS SET FORTH BY THE N.Y.S. DEPARTMENT OF HEALTH FOR RURAL WATER SUPPLY
- SOFTENING OF HARD WATER SHOULD BE CONSIDERED ONLY IF EXCESSIVE. HARDNESS IS FOUND. (GREATER THAN 150 MG/L).
- THE LOCATION OF WELLS AND SEPTIC FIELDS SHALL NOT BE CHANGED.
- FOOTING DRAINS WITHIN 25 FEET OF A WELL SHALL BE WATERTIGHT.
- WELLS MUST BE INSTALLED AT LEAST 100 FEET FROM ALL SEPTIC SYSTEMS AND 200 FEET FROM ANY SEPTIC SYSTEM WHICH IS UPHILL FROM THE WELL.
- WELL CASING IS TO BE INSTALLED 20 FEET INTO IMPERVIOUS BEDROCK.

- NOTES:**
- ALL LATERALS IN USE SHALL BE EQUIPPED WITH A FLOW LEVELER.
  - FLOW LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1 1/4" DIFFERENCE IN LATERAL INVERT ELEVATIONS. THE DISTRIBUTION BOX SHALL BE RELEVELLED AND THE FLOW LEVELERS READJUSTED.
  - THE DISTRIBUTION BOX SHALL BE CHECKED 6-12 MONTHS AFTER INSTALLATION AND THE FLOW LEVELERS SHALL BE READJUSTED IF NECESSARY.

**FLOW LEVELER**

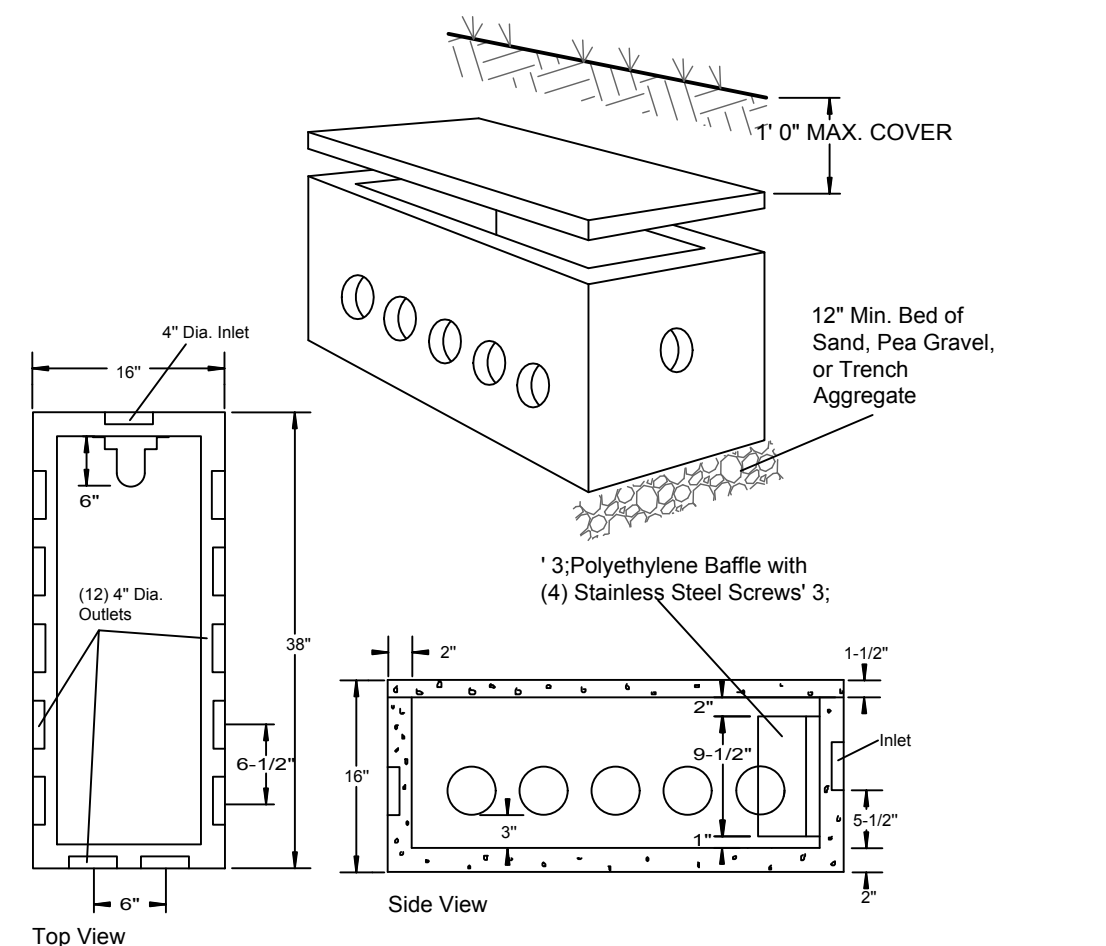
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DL	1	REVISED PER TOWN COMMENT	11/06/20	



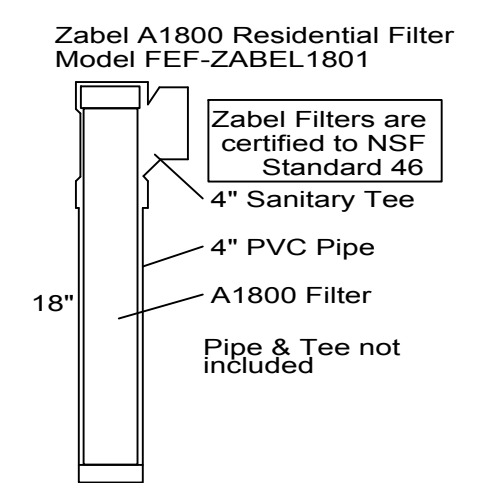
SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-12 / 12 OUTLETS W/BAFFLE
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: Fiber, 10ga. wire mesh Air Entrainment: 5% Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight = 325 lbs	<b>Woodard's Concrete Products, Inc.</b> 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

**PRECAST DISTRIBUTION BOX DETAIL**

SCALE: N.T.S.

**TYPICAL SEPTIC TRENCH**

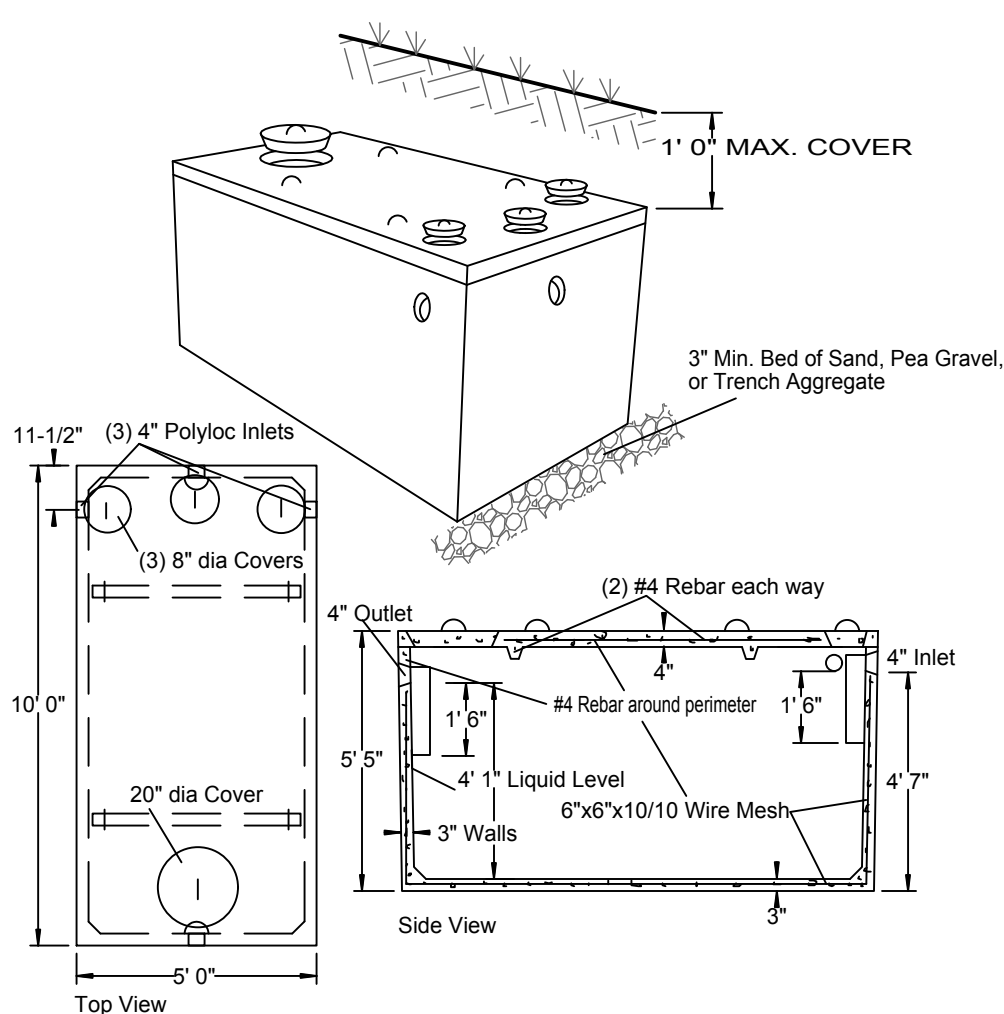
SCALE: N.T.S.



SPECIFICATIONS	SEPTIC TANK OUTLET FILTERS ZABEL & POLYLOK BRANDS
Construction: PVC Plastic Capacities: Zabel A1800 = 800 gpd Zabel A100 = 3000 gpd Polylok PL-122 = 800 gpd / unit (can be connected in series)	<b>Woodard's Concrete Products, Inc.</b> 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

**TYPICAL EFFLUENT FILTER FOR SEPTIC TANK**

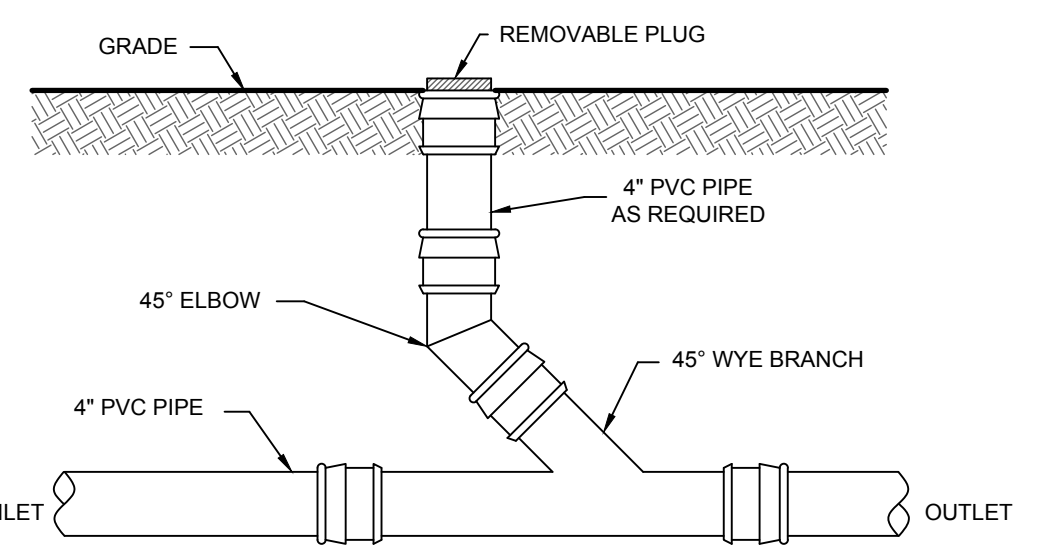
SCALE: N.T.S.



SPECIFICATIONS	PRECAST SEPTIC TANKS MODEL ST-1250 / 1250 GALLONS
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar, 6x6x10ga. WWM Air Entrainment: 5% Construction Joint: Butyl Rubber Sealant Pipe Connection: Polylok Seal (patented) Weight = 9,500 lbs Load Rating: 300 psf	<b>Woodard's Concrete Products, Inc.</b> 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

**TYPICAL CONCRETE SEPTIC TANK**

SCALE: N.T.S.



**TYPICAL CLEANOUT DETAIL**

SCALE: N.T.S.