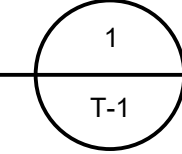


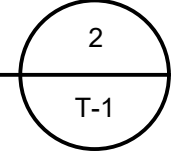
REF: ORANGE COUNTY TAX MAP

REF: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

VICINITY MAP  
SCALE 1" = 600'



AERIAL MAP  
SCALE = N.T.S.



# SITE PLAN FOR DELACORE, INC.

## 122 & 126 N.Y.S. ROUTES 42 & 97

## SECTION 44 BLOCK 4 LOTS 23.22 & 23.21

## TOWN OF DEERPARK

## ORANGE COUNTY, NY

DRAWING LIST	
T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
S-2	SITE PLAN
S-3	SITE DETAIL PLAN 1
S-4	SITE DETAIL PLAN 2
S-5	SITE DETAIL PLAN 3
S-6	GRADING & STORMWATER PLAN 1
S-7	GRADING & STORMWATER PLAN 2
S-8	GRADING & STORMWATER PLAN 3
S-9	STORMWATER DETAILS
S-10	DRAINAGE PROFILES
S-11	DRAINAGE PROFILES
S-12	EROSION & SEDIMENTATION CONTROL PLAN 1
S-13	EROSION & SEDIMENTATION CONTROL PLAN 2
S-14	EROSION & SEDIMENTATION CONTROL PLAN 3
S-15	EROSION & SEDIMENTATION CONTROL PLAN DETAILS
S-16	LIGHTING PLAN
S-17	DRIVEWAY PLAN & PROFILE
S-18	CONSTRUCTION DETAILS

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

**PROJECT INFORMATION**

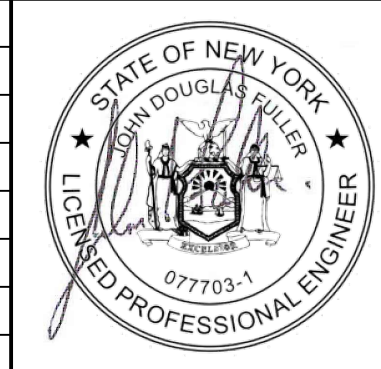
OWNER OF RECORD	DELACORE, INC.
ZONING	HM-U (HAMLET MIXED-USE DISTRICT)
TAX ID	SECTION 44 BLOCK 04
TOTAL LOT AREA	LOTS 23.22 & 23.21 5.18± ACRES TAX LOT 44-4-23.22: 4.18± ACRES TAX LOT 44-4-23.21: 1.00± ACRES

THIS PLAN CONTAINS 19 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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DO	1	REVISED PER SWPPP	03/21/25	



**JOHN D. FULLER, P.E., P.C.** 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

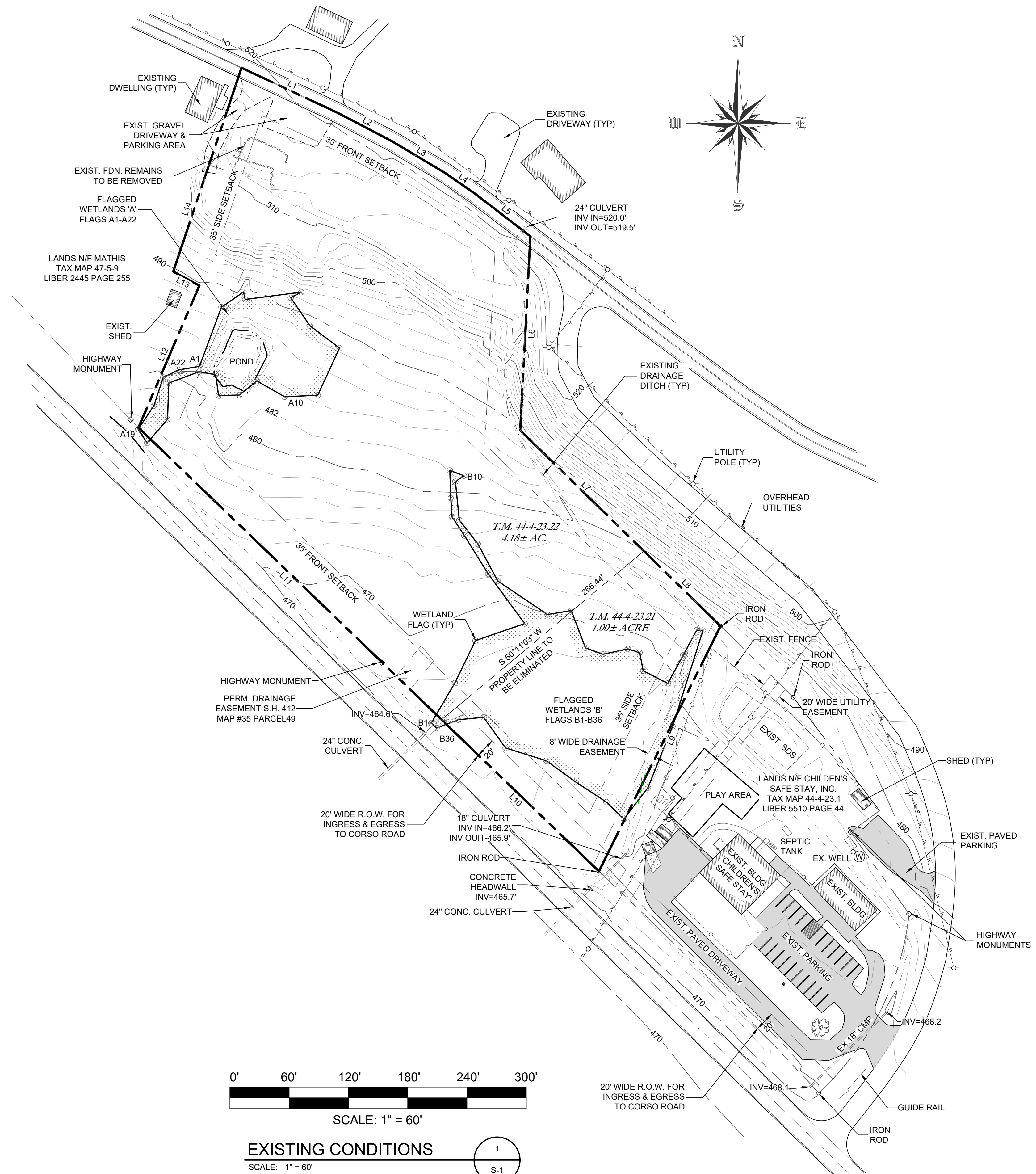
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SCALE: AS NOTED JOB NO.: 1100.007

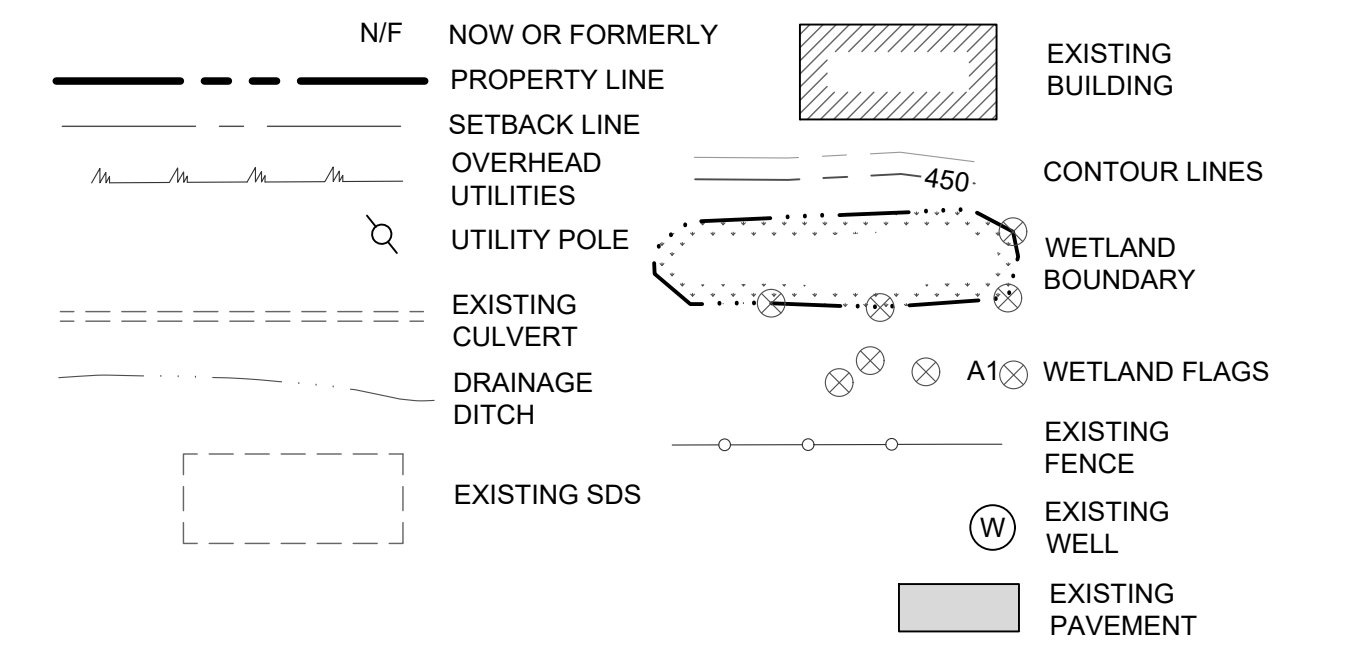


**REFERENCE MAP:**

MAP ENTITLED, "TOPOGRAPHICAL SURVEY PREPARED FOR REX, LLC", BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED JANUARY 5, 2006, AS DRAWING NO. 9721.



**LEGEND**

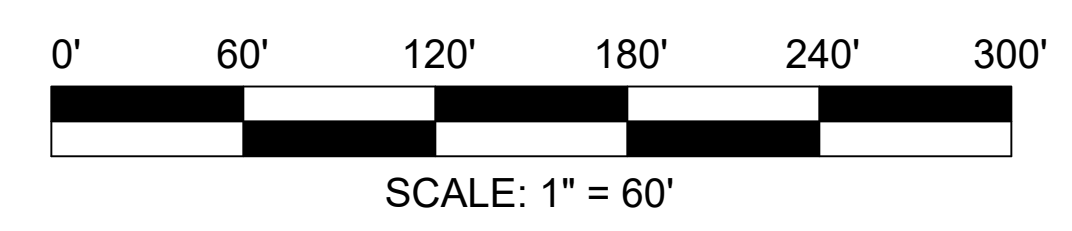


**GENERAL NOTES**

- OWNER OF RECORD: DELACORE, INC. P.O. BOX 94 PORT JERVIS, NY 12771
- TAX MAP DESIGNATIONS: SECTION 44 BLOCK 4 LOT 23.22 SECTION 44 BLOCK 4 LOT 23.21
- PARCEL ZONED: HM-U (HAMLET MIXED-USE DISTRICT)
- TOTAL AREA: 5.18± ACRES
- EXISTING USE: VACANT PROPOSED USE: SELF-STORAGE UNITS.

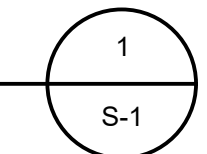
**BULK TABLE REQUIREMENTS:**

	ZONED DISTRICT: HM-U (HAMLET MIXED USE DISTRICT)		
	MINIMUM REQUIREMENTS	EXISTING T.M. 44-4-23.22	EXISTING T.M. 44-4-23.21
LOT AREA:	1.0 ACRES	4.18 ACRES	1.00 ACRE
LOT WIDTH:	100 FEET	443.1± FEET	206.1± FEET
LOT DEPTH:	200 FEET	414.6± FEET	264.5± FEET
FRONT YARD:	35 FEET	NA	NA
REAR YARD:	35 FEET	NA	NA
SIDE YARD:	35 FEET	NA	NA
FLOOR AREA:	1,000 S.F.	NA	NA
	MAXIMUM PERMITTED		
BLDG. COVERAGE:	20 %	0 %	0 %
BLDG. HEIGHT:	35 FEET	NA	NA



**EXISTING CONDITIONS**

SCALE: 1" = 60'



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JOHN D. FULLER  
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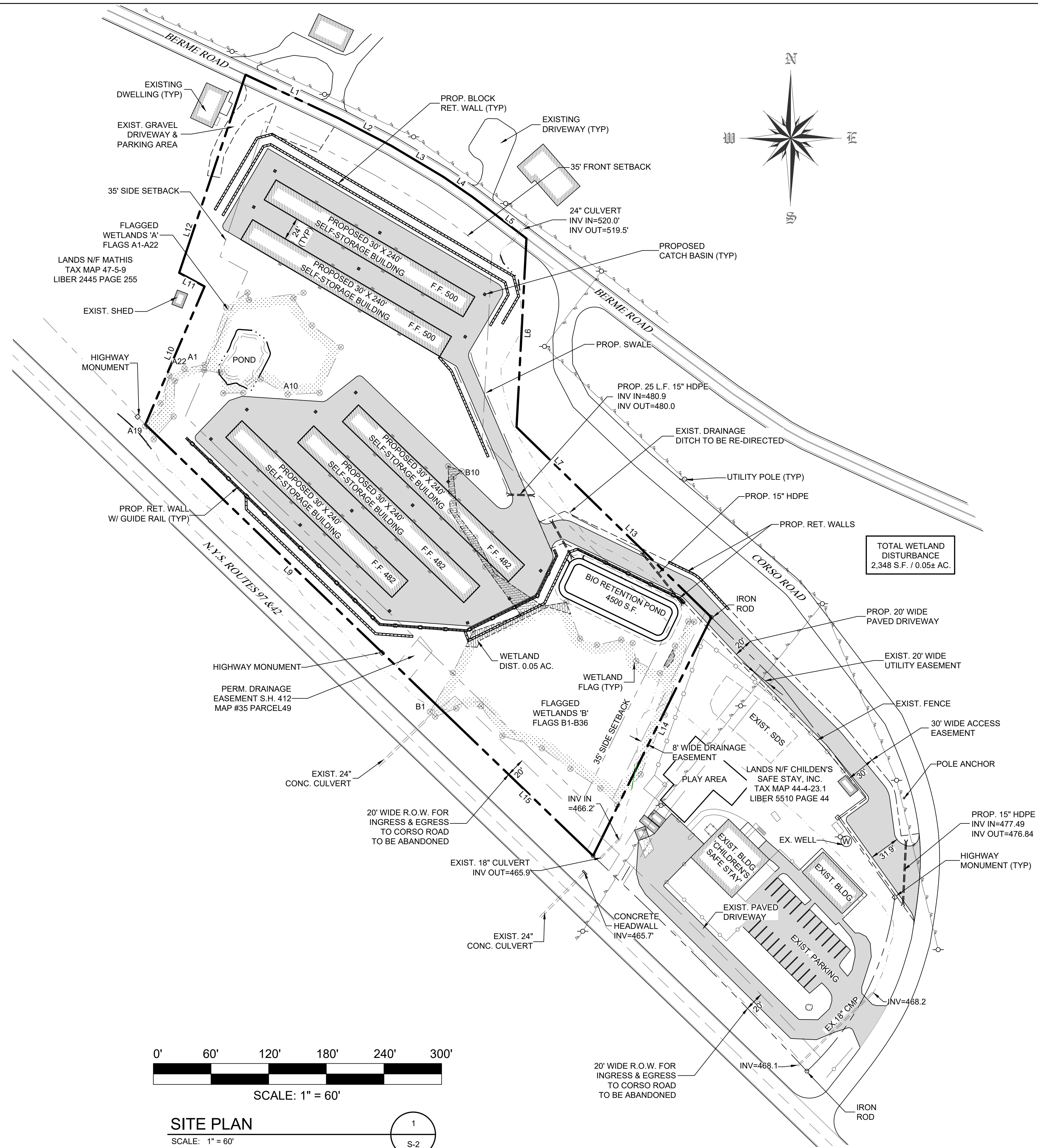
ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **EXISTING CONDITIONS**  
SCALE: AS NOTED  
JOB NO.: 1100.007  
DWG NO.: **S-1**

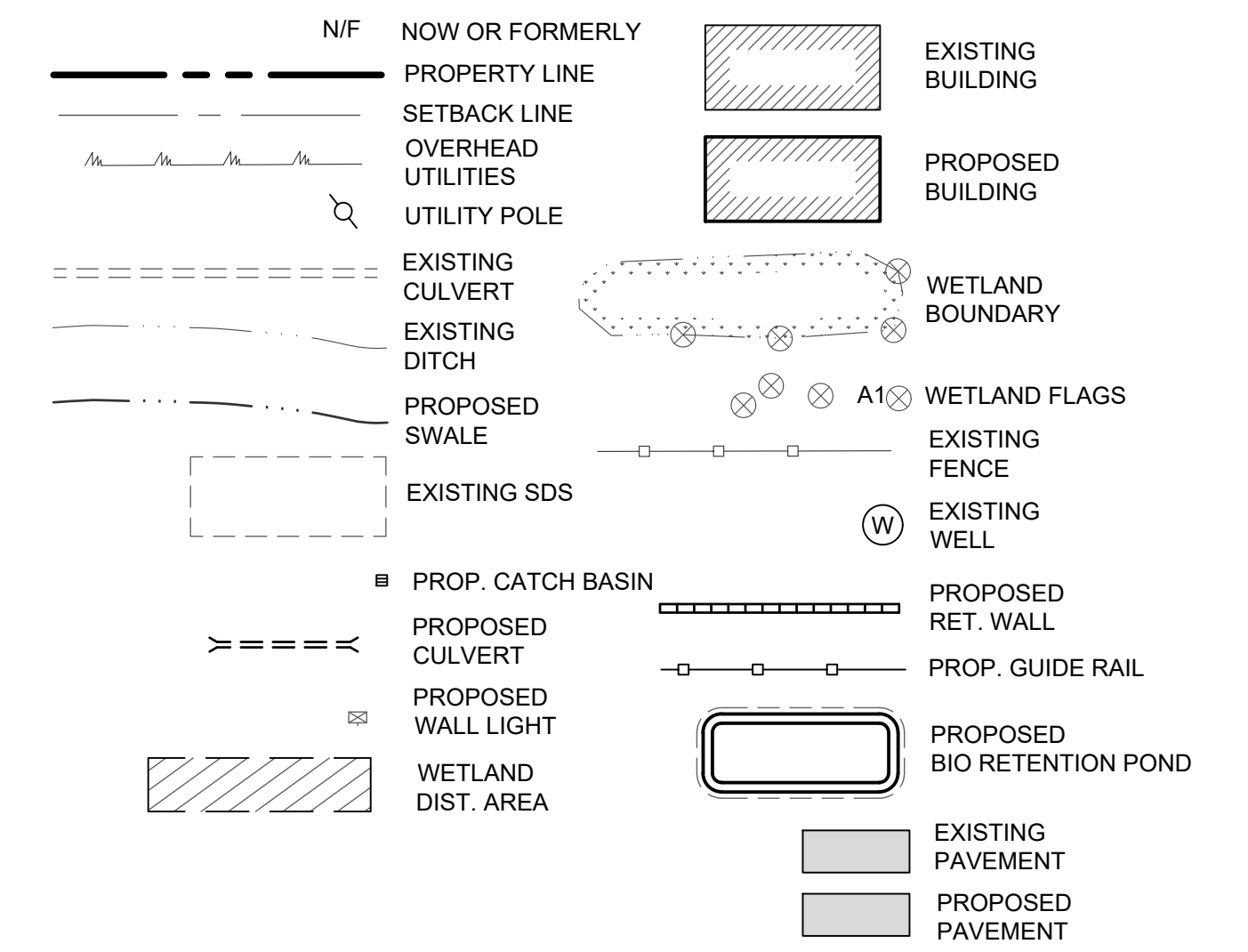
TOWN OF DEERPARK  
PLANNING BOARD APPROVAL



REF.	BEARING	DIST.	CHART
L1	S 64°56'10" E	107.14'	
L2	S 62°23'03" E	62.11'	
L3	S 59°09'50" E	62.73'	
L4	S 55°22'29" E	37.09'	
L5	S 52°25'08" E	70.51'	
L6	S 03°00'00" W	196.68'	
L7	S 45°41'00" E	174.83'	
L8	S 50°11'03" W	266.44'	
L9	N 46°04'00" W	426.00'	
L10	N 23°14'00" E	156.30'	
L11	N 61°41'00" W	30.00'	
L12	N 18°31'00" E	217.40'	



**LEGEND**



**GENERAL NOTES**

- OWNER OF RECORD: DELACORE, INC. P.O. BOX 94 PORT JERVIS, NY 12771
- TAX MAP DESIGNATIONS: SECTION 44 BLOCK 4 LOT 23.22 SECTION 44 BLOCK 4 LOT 23.21
- PARCEL ZONED: HM-U (HAMLET MIXED-USE DISTRICT)
- TOTAL AREA: 5.18± ACRES  
TAX LOT 44-4-23.22: 4.18± ACRES  
TAX LOT 44-4-23.21: 1.00± ACRES
- EXISTING USE: VACANT  
PROPOSED USE: SELF-STORAGE UNITS.

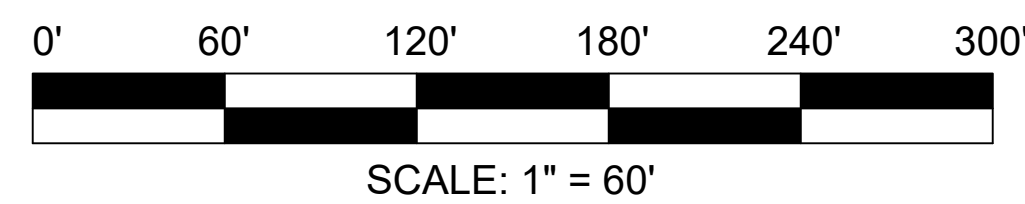
**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: HM-U (HAMLET MIXED USE DISTRICT)

	MINIMUM REQUIREMENTS	PROPOSED*
LOT AREA:	1.0 ACRES	5.18 ACRES
LOT WIDTH:	100 FEET	649.2± FEET
LOT DEPTH:	200 FEET	266.0± FEET
FRONT YARD:	35 FEET	48.5± FEET
REAR YARD:	35 FEET	NA
SIDE YARD:	35 FEET	49.9± FEET
FLOOR AREA:	1,000 S.F.	> 1,000 S.F.

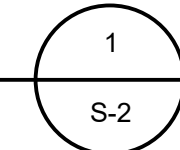
	MAXIMUM PERMITTED	PROPOSED*
BLDG. COVERAGE:	20 %	15.9 %
BLDG. HEIGHT:	35 FEET	< 35 FEET

\*AFTER LOT CONSOLIDATION



**SITE PLAN**

SCALE: 1" = 60'

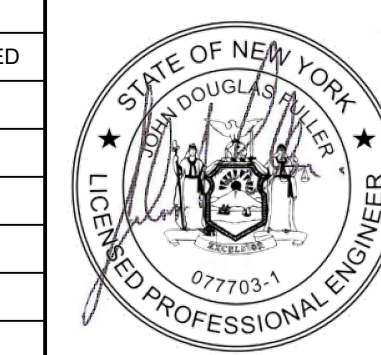


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JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **SITE PLAN** DWG NO.: **S-2**

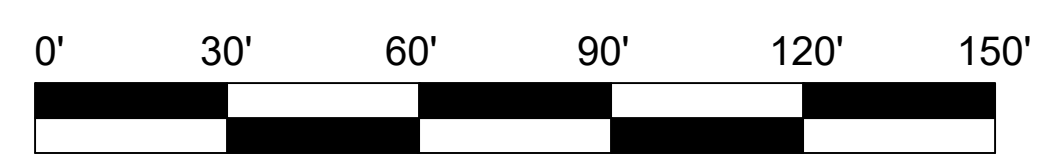
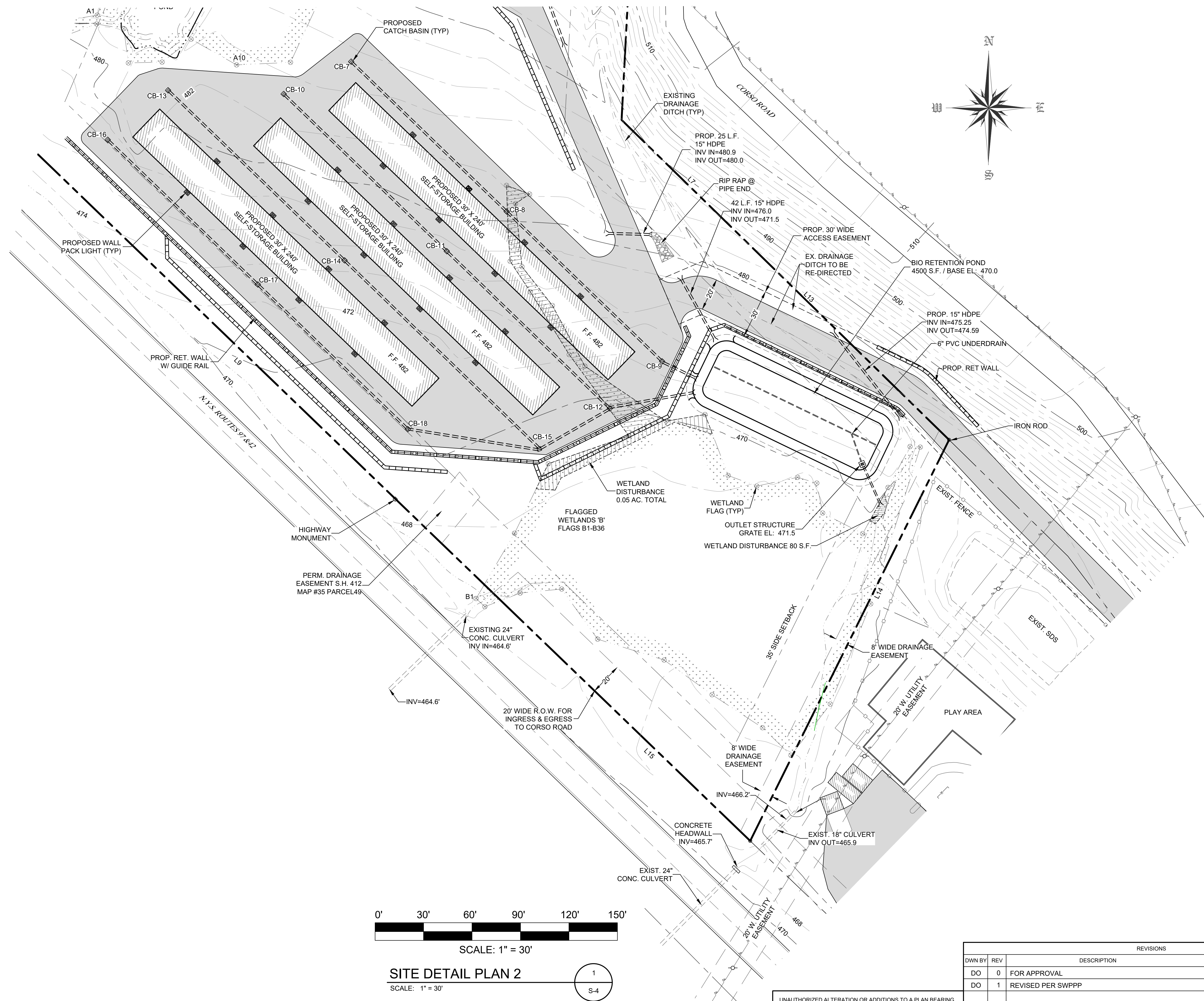
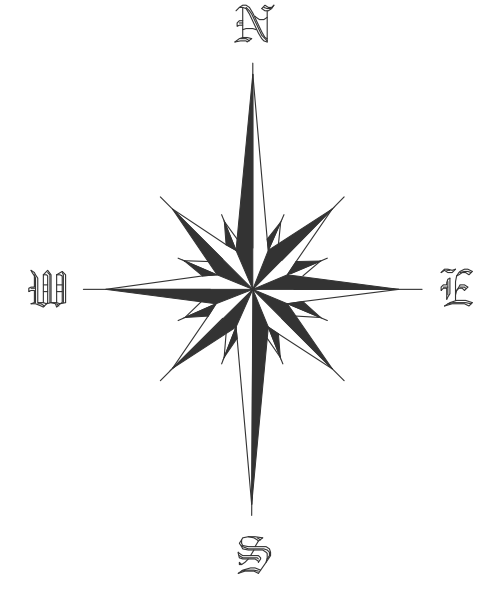
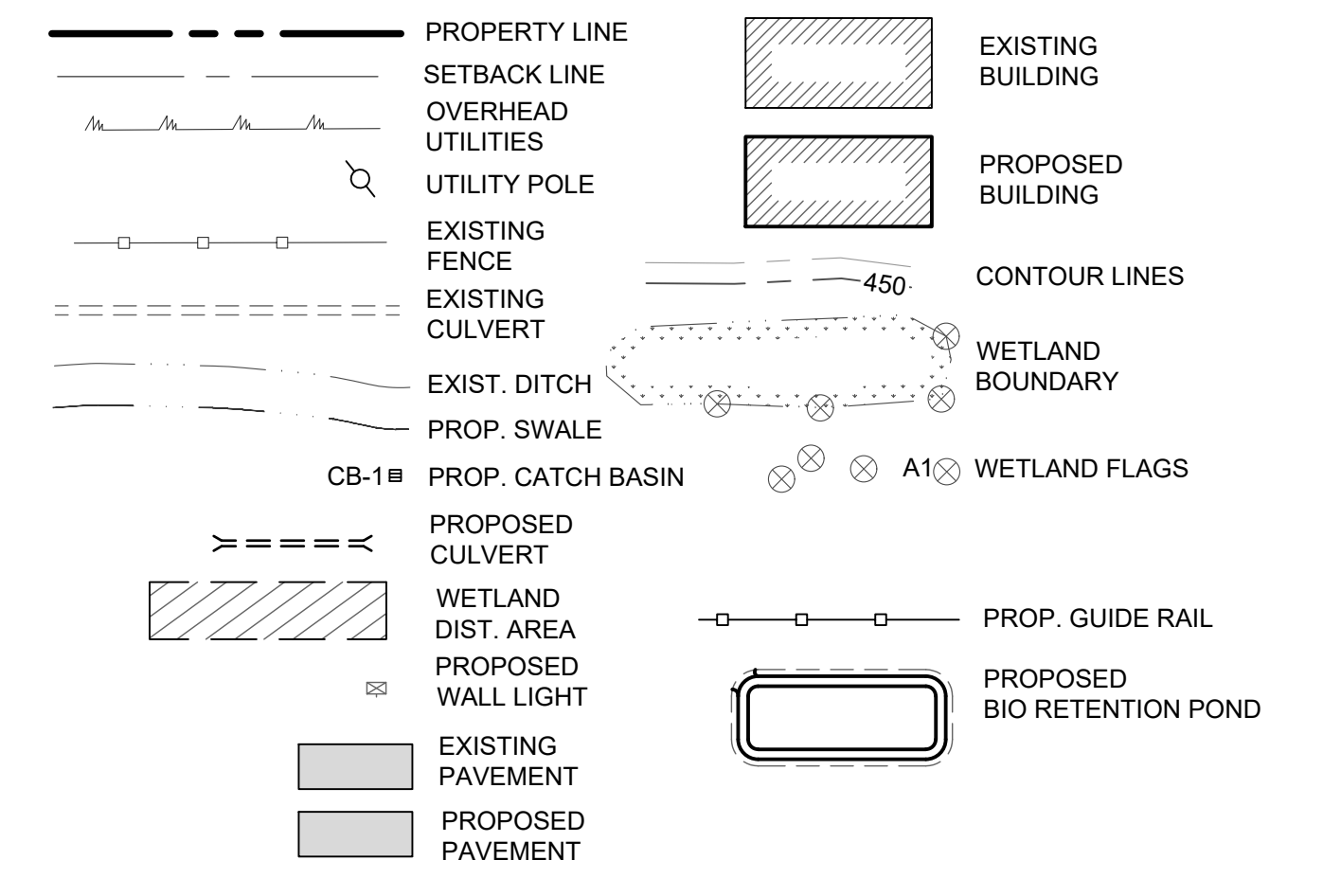
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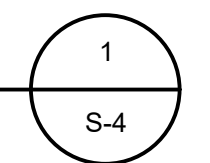
**LEGEND**



SCALE: 1" = 30'

**SITE DETAIL PLAN 2**

SCALE: 1" = 30'

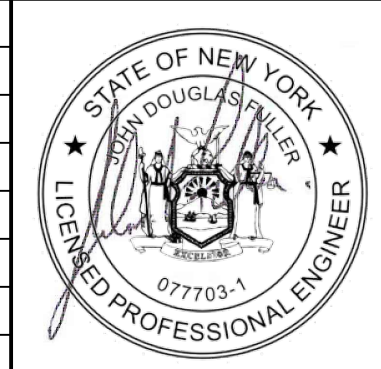


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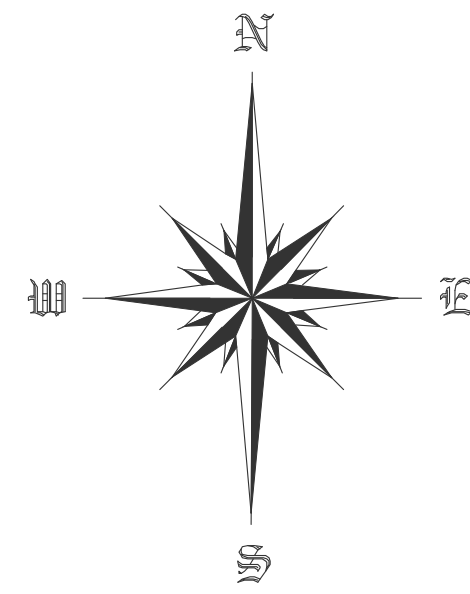
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PORT JERVIS, NY 12771  
(845) 856-1536

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **SITE DETAIL PLAN 2** DWG NO.: **S-4**  
SCALE: AS NOTED JOB NO.: 1100.007

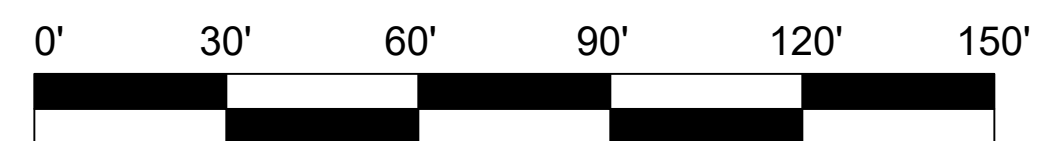
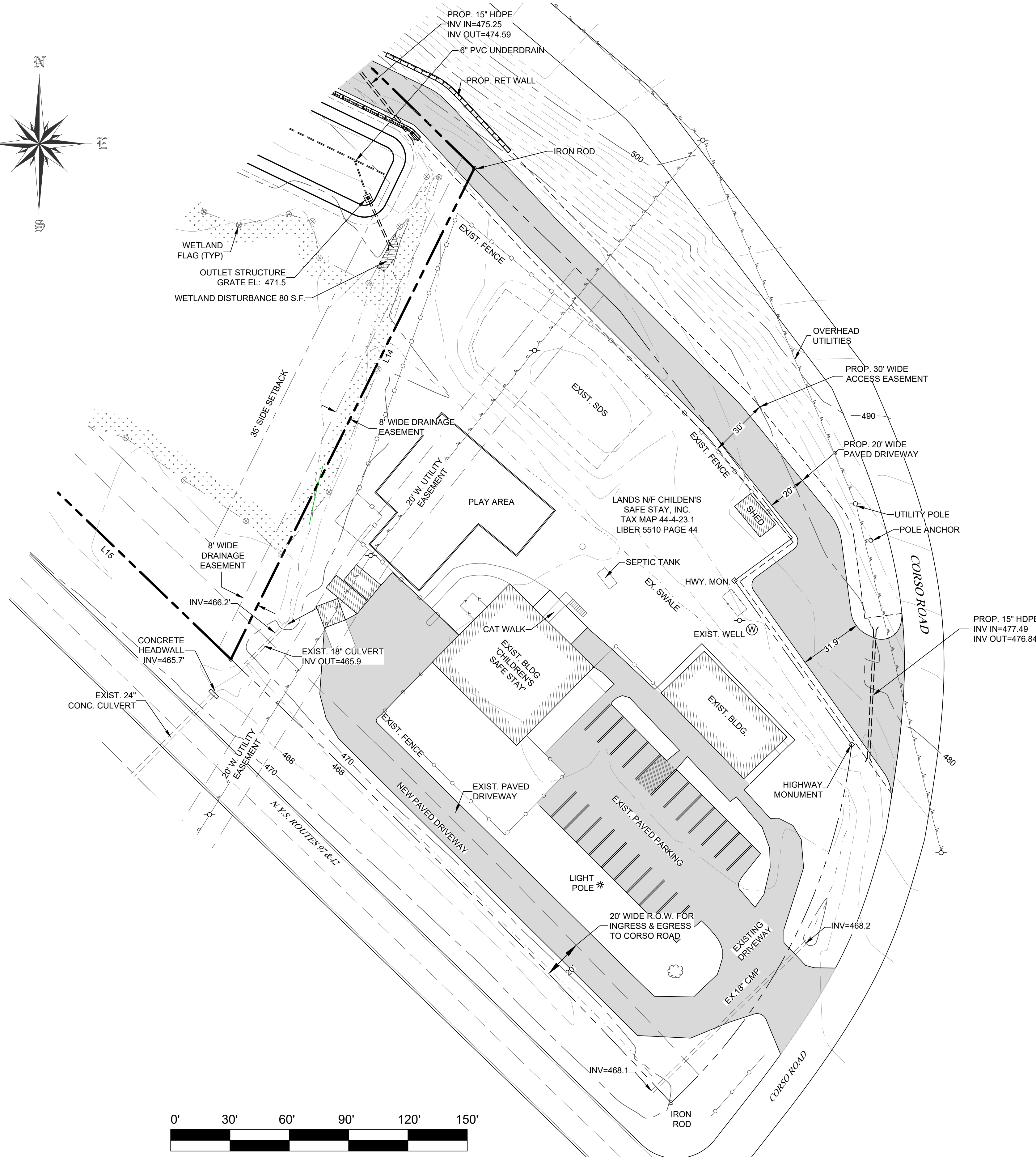
TOWN OF DEERPARK  
PLANNING BOARD APPROVAL





**LEGEND**

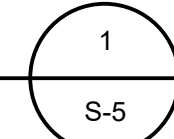
- PROPERTY LINE
- - - SETBACK LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- EXISTING FENCE
- EXISTING CULVERT
- EXIST. DITCH
- PROP. SWALE
- PROP. CULVERT
- WETLAND DIST. AREA
- ▨ EXISTING BUILDING
- 450 CONTOUR LINES
- WETLAND BOUNDARY
- ⊗ A1 ⊗ WETLAND FLAGS
- ▭ PROPOSED BIO RETENTION POND
- PROPOSED RET. WALL
- ▨ EXISTING PAVEMENT
- ▨ PROPOSED PAVEMENT



SCALE: 1" = 30'

**SITE DETAIL PLAN 3**

SCALE: 1" = 30'

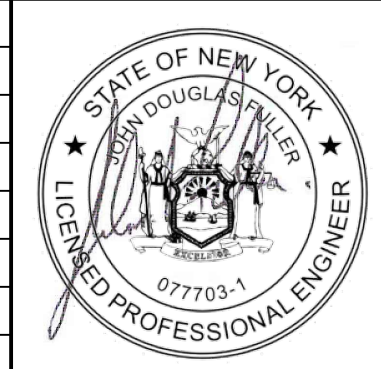


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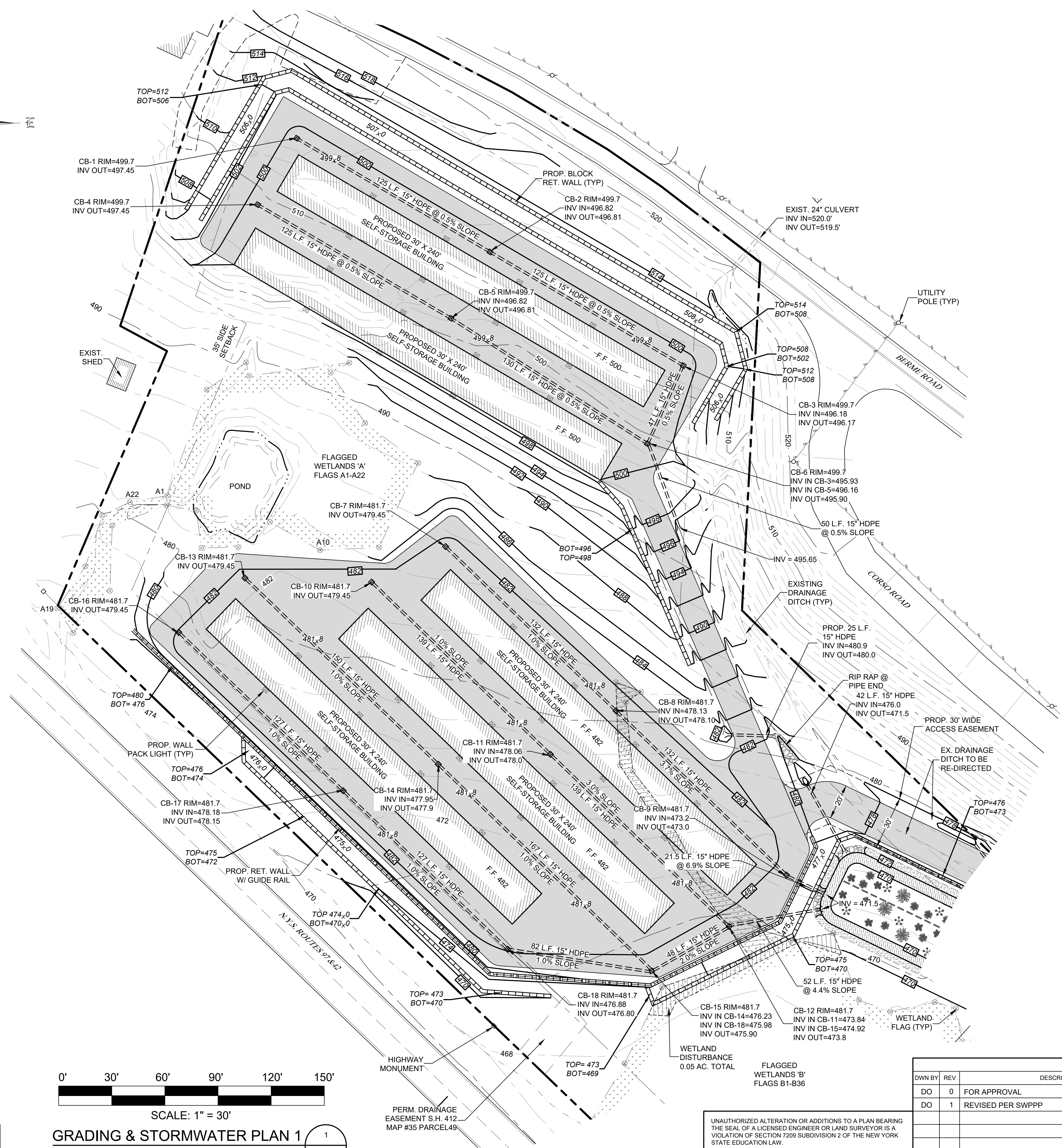
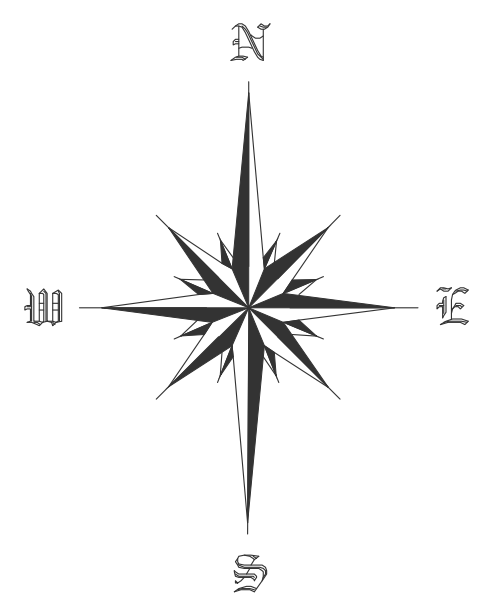
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PORT JERVIS, NY 12771  
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ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
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TOWN OF DEERPARK, NY

DWG TITLE: **SITE DETAIL PLAN 3** DWG NO.: **S-5**  
SCALE: AS NOTED JOB NO.: 1100.007

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL





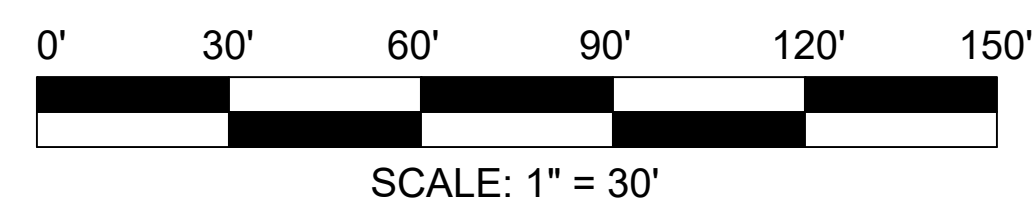
LEGEND	
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD UTILITIES
	UTILITY POLE
	EXISTING CULVERT
	EXISTING DITCH
	PROPOSED SWALE
	PROPOSED GRADING
	SPOT ELEV.
	WETLAND DIST. AREA
	PROPOSED WALL LIGHT
	PROPOSED BIO RETENTION POND
	EXISTING BUILDING
	PROPOSED BUILDING
	CONTOUR LINES
	WETLAND BOUNDARY
	WETLAND FLAGS
	PROPOSED RET. WALL
	PROP. GUIDE RAIL
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROP. DRAINAGE PIPE
	PROP. CATCH BASIN

**GRADING & UTILITIES NOTES**

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.5% MIN. ACROSS ALL PAVED SURFACES AND SLOPE ALONG ALL GUTTERS TO PREVENT PONDING. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL DISCREPANCIES AND OTHER CONDITIONS THAT MAY EFFECT PUBLIC SAFETY AS WELL AS THE PROJECT COST TO ENGINEER IMMEDIATELY IN WRITING.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSING) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. A MINIMUM OF 15" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS. ANY POTENTIAL CROSSINGS LESS THAN THE MINIMUM REQUIRED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING.
- REFER TO CONSTRUCTION DETAIL PLAN FOR GRADING AND YARD DETAILS.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "THE NEW YORK ONE CALL SYSTEM" (1-800-982-7962) 48 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES
- WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN OF WAWAYANDA REQUIREMENTS.
- ALL UTILITY CONNECTIONS TO BE MADE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
- ALL UTILITY SERVICES TO BE SIZED IN ACCORDANCE WITH ARCHITECTURAL PLANS (BY OTHERS).

**SITE WORK NOTES**

- ALL EXCAVATIONS SHALL BE DEWATERED BY SUMPING, PUMPING, ETC. IN A MANNER WHICH WILL NOT LOOSEN FOUNDATION SUBGRADE MATERIAL. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS BY MEANS OF BERMS, DIVERSION DITCHES, OR OTHER SUITABLE METHODS.
- CONFINED EXCAVATIONS FOR FOUNDATIONS, UTILITIES, ETC. SHALL BE LIMITED TO 4 FEET IN DEPTH UNLESS SHORING AND BRACING IS USED. TRENCH EXCAVATION GEOMETRY AND/OR BRACING SHALL CONFORM WITH THE LATEST OSHA REQUIREMENTS.
- BACKFILL SHALL BE PLACED IN MAXIMUM LOOSE LIFT THICKNESSES OF 8 INCHES AND COMPACTED WITH SUITABLE COMPACTION EQUIPMENT. ALL FILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY PER ASTM D1557. IN CONFINED AREAS WHERE ONLY HAND TAMPING IS FEASIBLE, FILL SHALL BE PLACED IN MAXIMUM 4 INCH LOOSE LIFTS AND COMPACTED TO THE AFOREMENTIONED CRITERIA.
- ALL FILL SHALL BE CLEAN AND FREE OF LARGE ROCK; NO ORGANIC MATTER SHALL BE PERMITTED.
- TEMPORARY EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS REQUIRED AFTER THE SITE IS DISTURBED.



**GRADING & STORMWATER PLAN 1**  
SCALE: 1" = 30'

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S-6

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JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

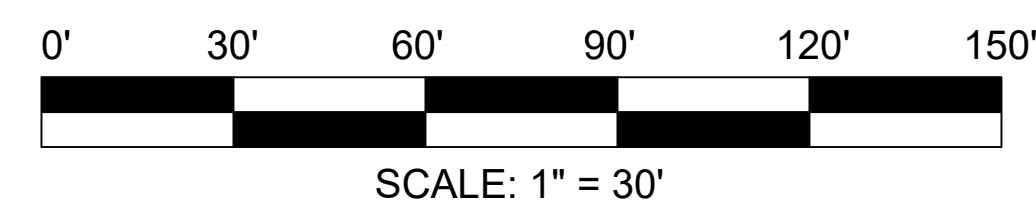
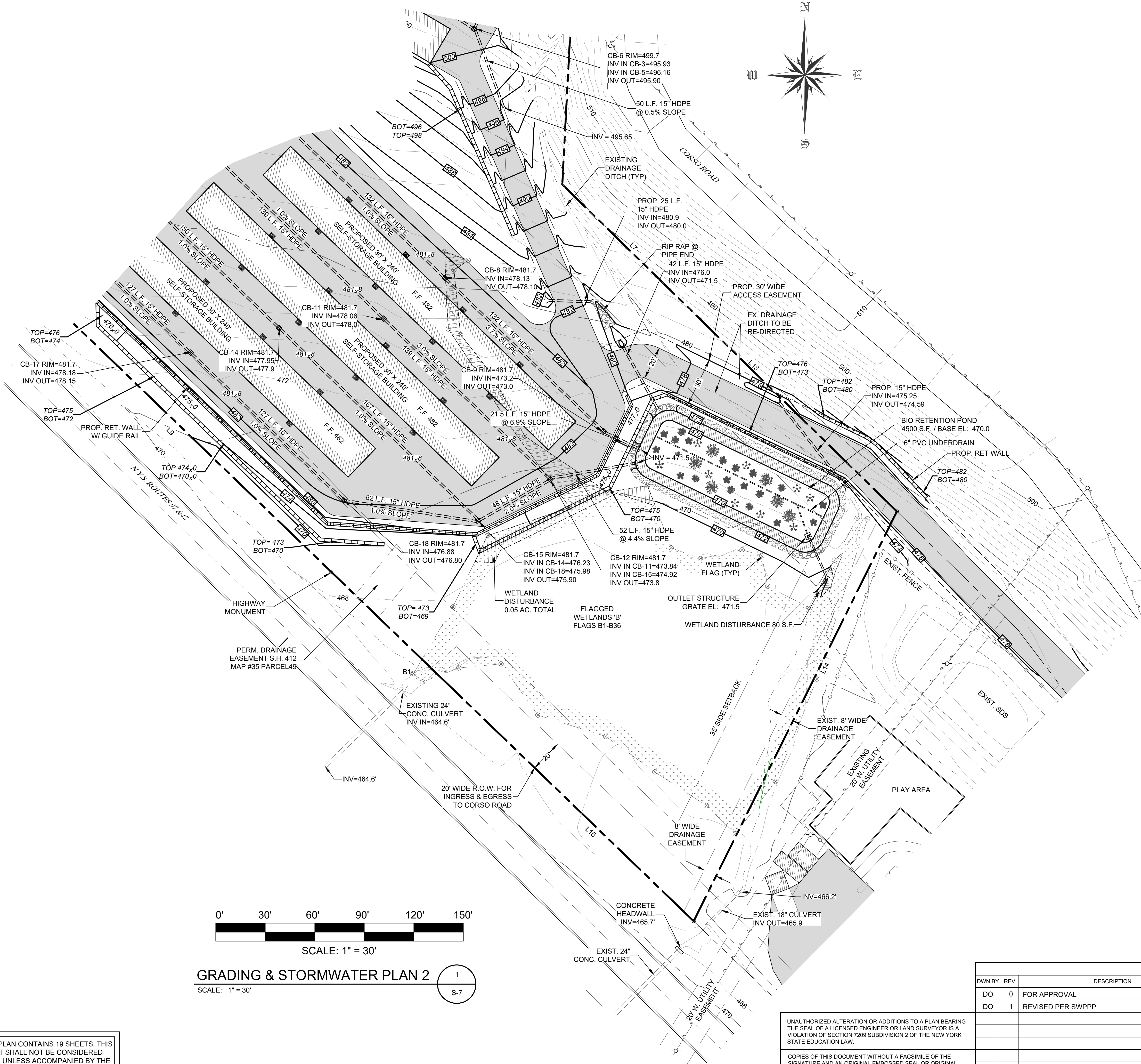
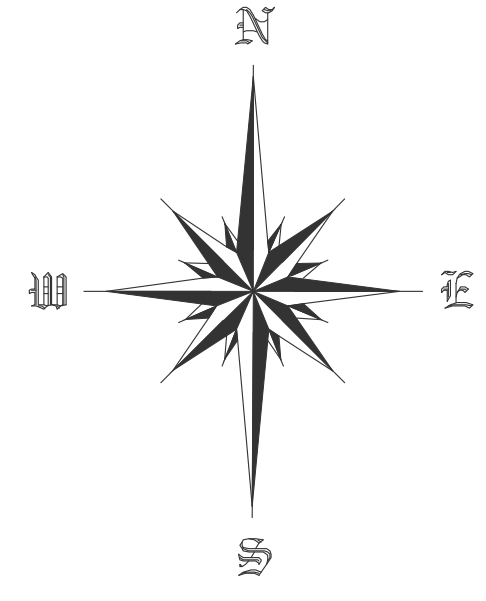
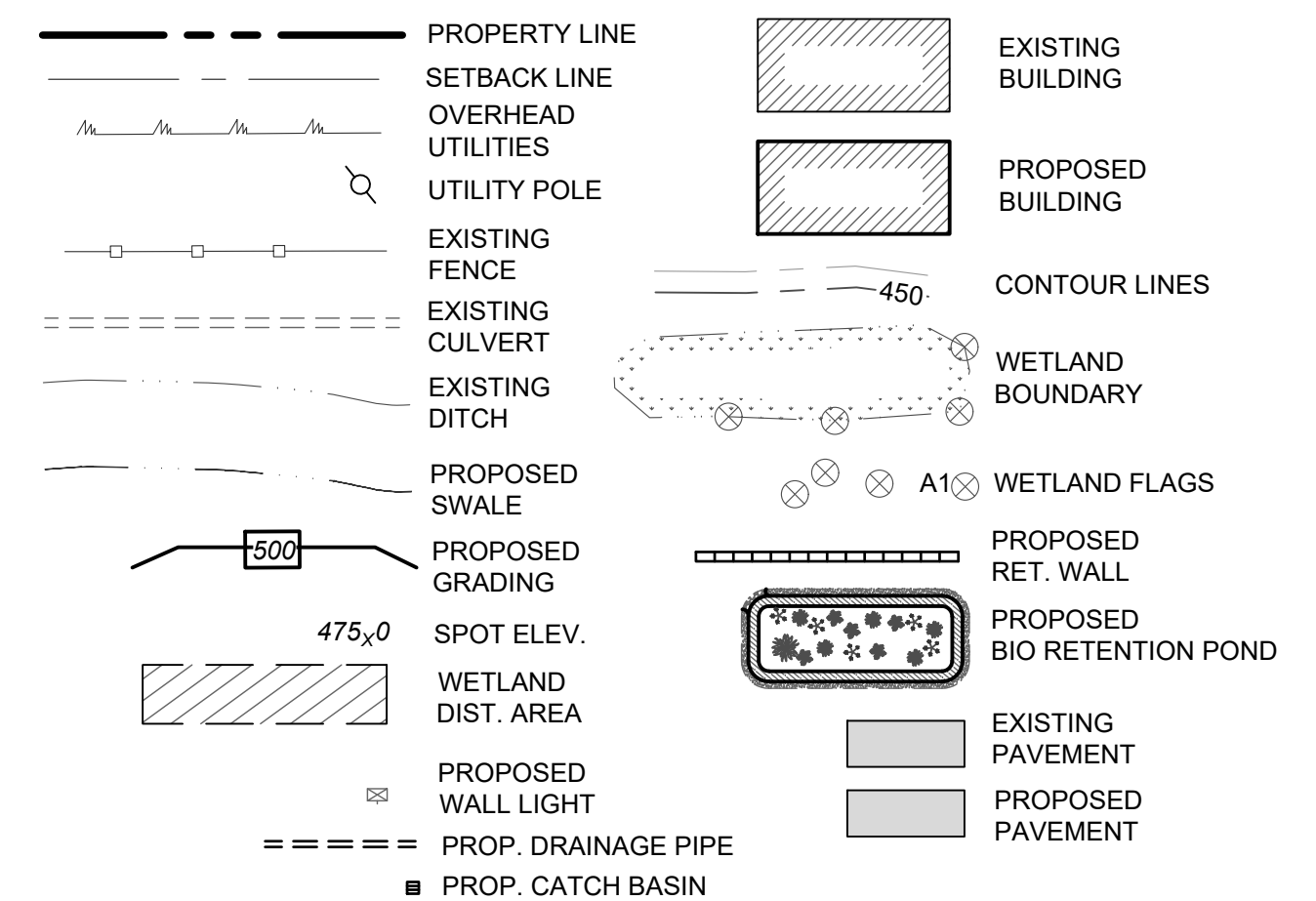
ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **GRADING & STORMWATER PLAN 1** DWG NO.: **S-6**

SCALE: AS NOTED JOB NO.: 1100.007



LEGEND



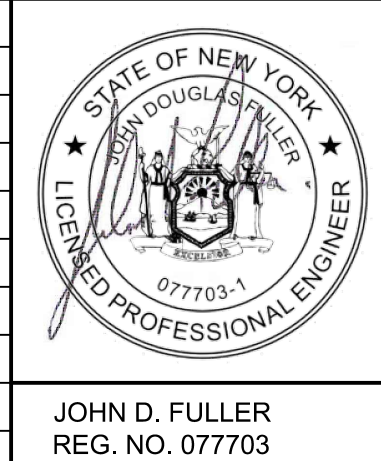
GRADING & STORMWATER PLAN 2  
SCALE: 1" = 30'

1  
S-7

THIS PLAN CONTAINS 19 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	02/26/25	
DO	1	REVISED PER SWPPP	03/21/25	



TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

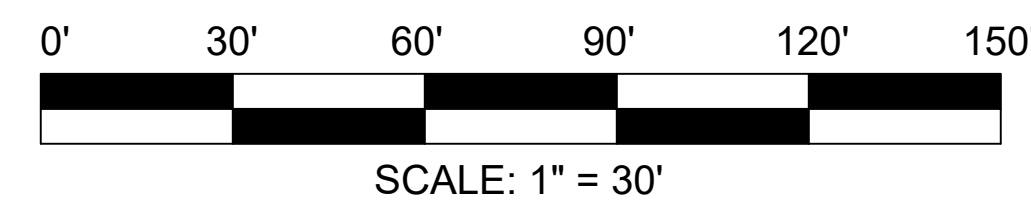
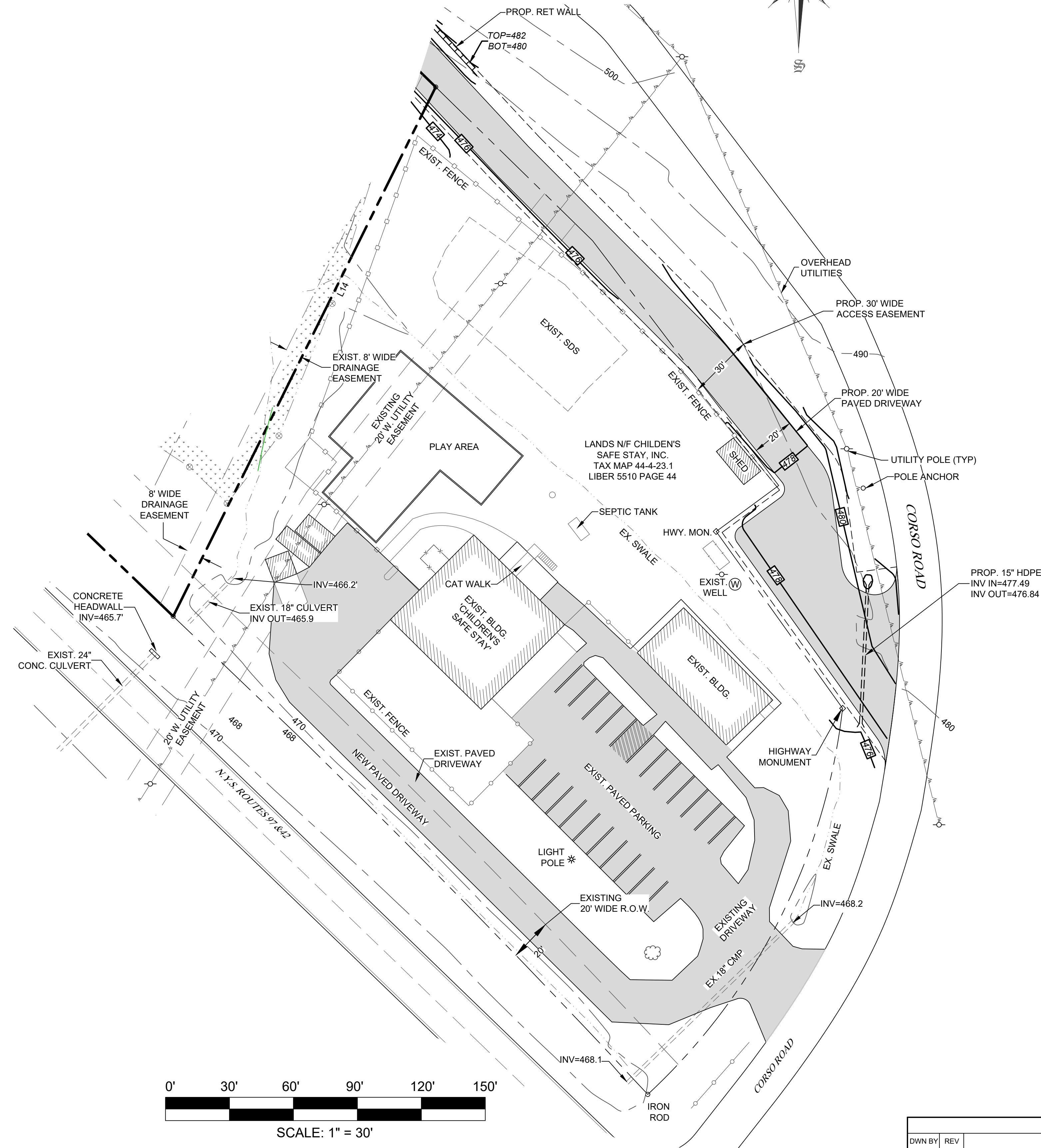
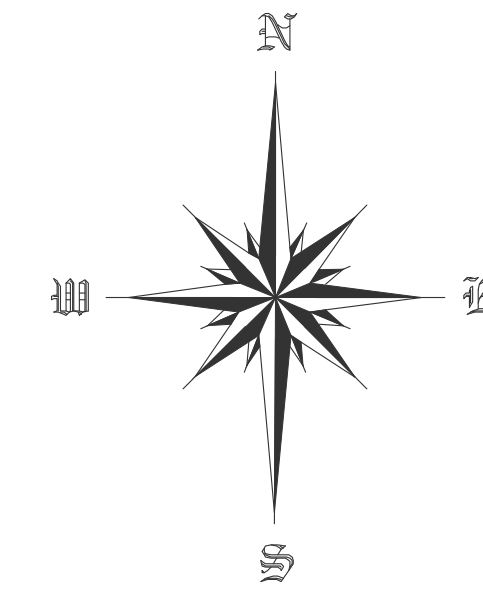
DWG TITLE: GRADING & STORMWATER PLAN 2  
SCALE: AS NOTED

DWG NO.: S-7  
JOB NO.: 1100.007



LEGEND

	PROPERTY LINE		EXISTING BUILDING
	SETBACK LINE		PROPOSED BUILDING
	OVERHEAD UTILITIES		CONTOUR LINES
	UTILITY POLE		WETLAND BOUNDARY
	EXISTING FENCE		A1 WETLAND FLAGS
	EXISTING CULVERT		EXISTING PAVEMENT
	EXISTING DITCH		PROPOSED PAVEMENT
	PROPOSED GRADING		
	PROPOSED RET. WALL		
	PROP. DRAINAGE PIPE		



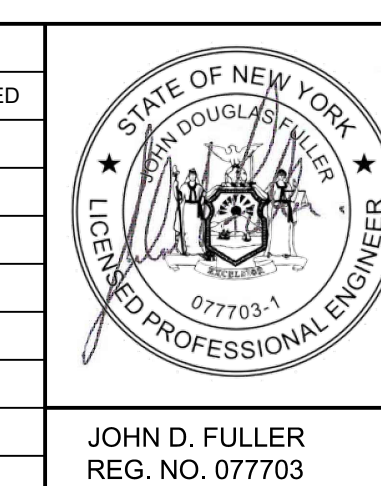
GRADING & STORMWATER PLAN 3 1  
SCALE: 1" = 30' S-8

THIS PLAN CONTAINS 19 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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DO	1	REVISED PER SWPPP	03/21/25	



TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

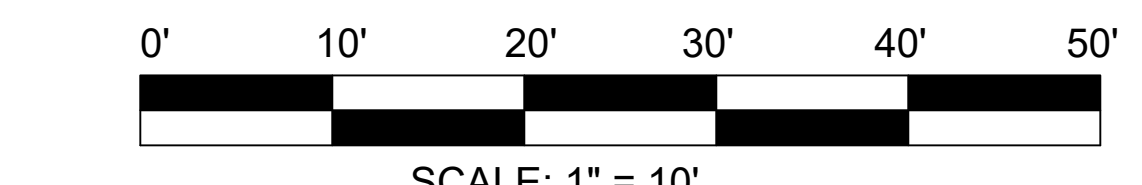
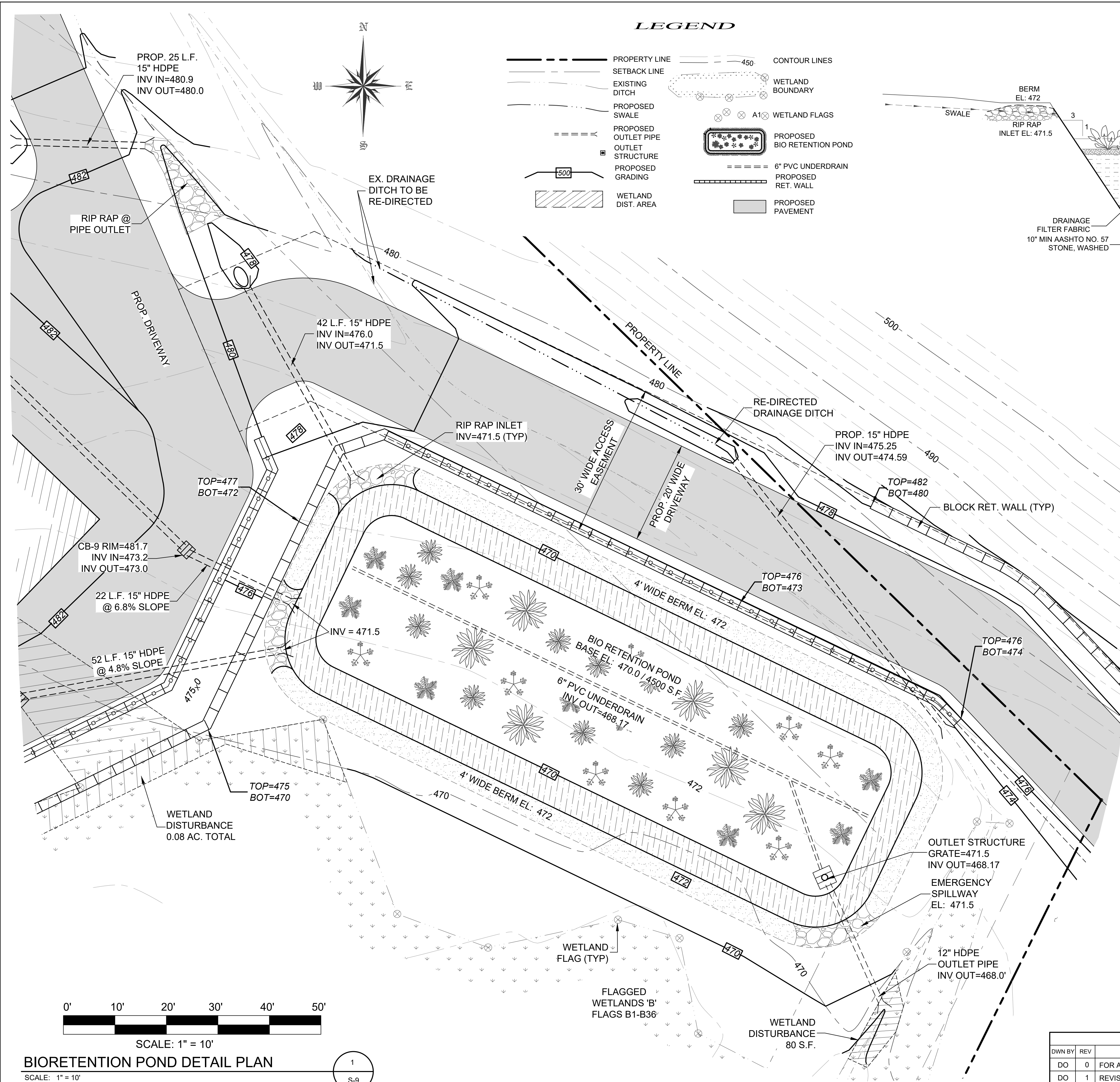
ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: GRADING & STORMWATER PLAN 3  
SCALE: AS NOTED

DWG NO.: S-8  
JOB NO.: 1100.007

JOHN D. FULLER  
REG. NO. 077703



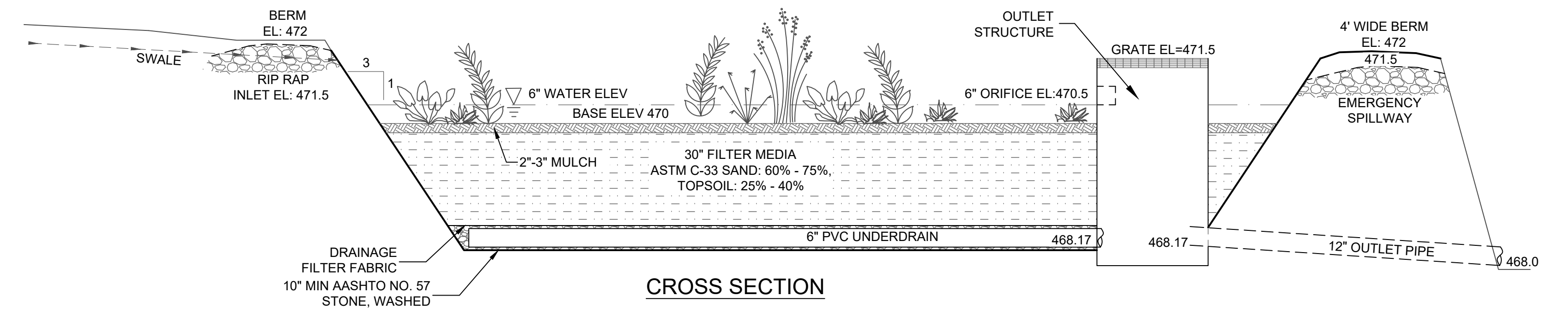


**BIORETENTION POND DETAIL PLAN**  
SCALE: 1" = 10'

1  
S-9

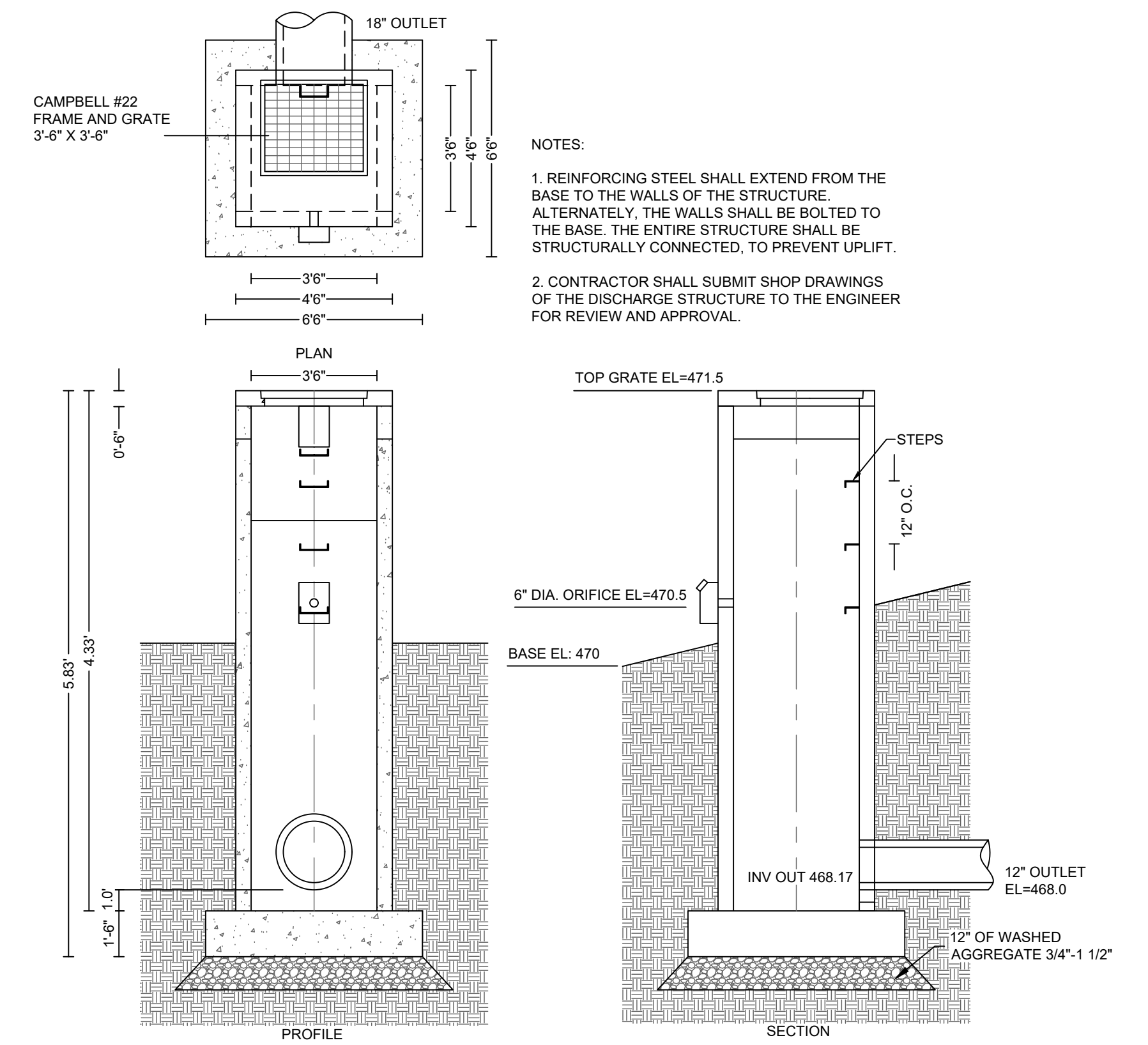
**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- - - EXISTING DITCH
- - - PROPOSED SWALE
- - - PROPOSED OUTLET PIPE
- OUTLET STRUCTURE
- - - PROPOSED GRADING
- ▨ WETLAND DIST. AREA
- 450 CONTOUR LINES
- WETLAND BOUNDARY
- ⊗ A1 WETLAND FLAGS
- PROPOSED BIO RETENTION POND
- 6" PVC UNDERDRAIN
- PROPOSED RET. WALL
- PROPOSED PAVEMENT



**BIORETENTION POND DETAIL**  
SCALE: N. T. S.

2  
S-9



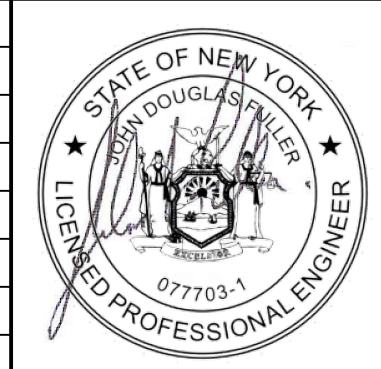
**OUTLET STRUCTURE**  
SCALE: NONE

3  
S-9

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JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

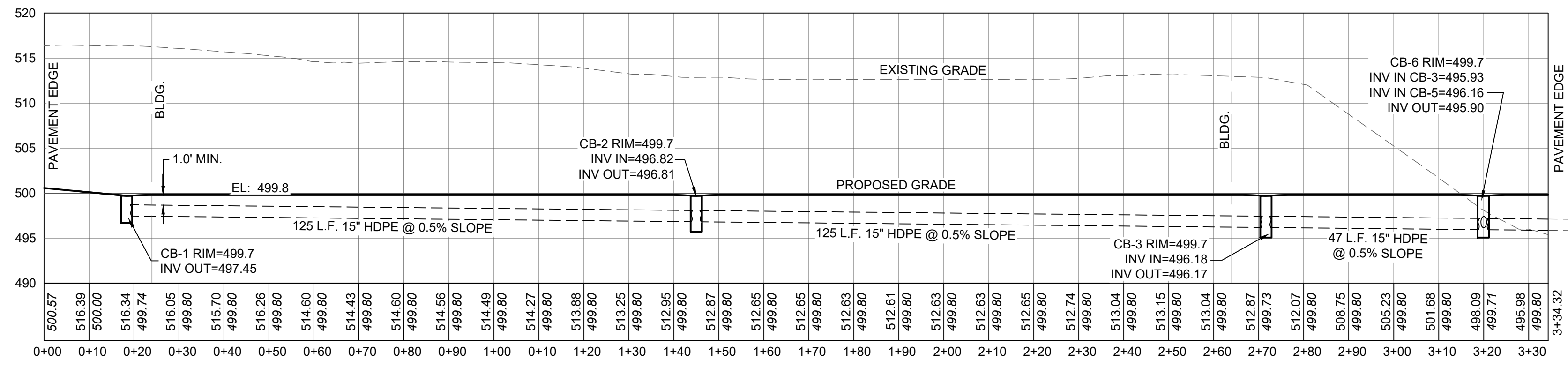
**JOHN D. FULLER, P.E., P.C.**

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

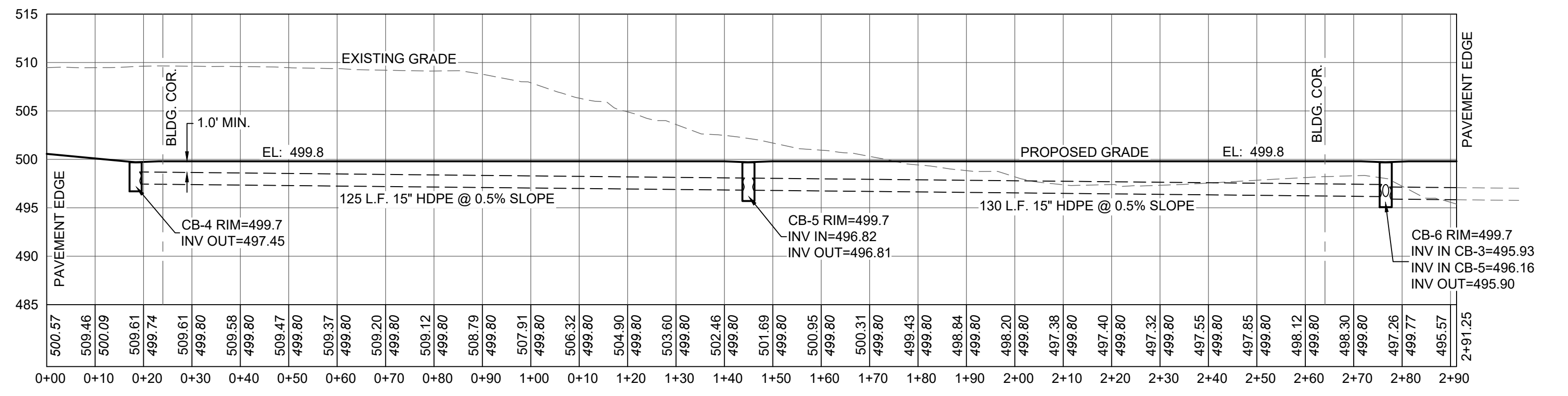
DWG TITLE: **STORMWATER DETAILS**  
SCALE: AS NOTED

DWG NO.: **S-9**  
JOB NO.: 1100.007

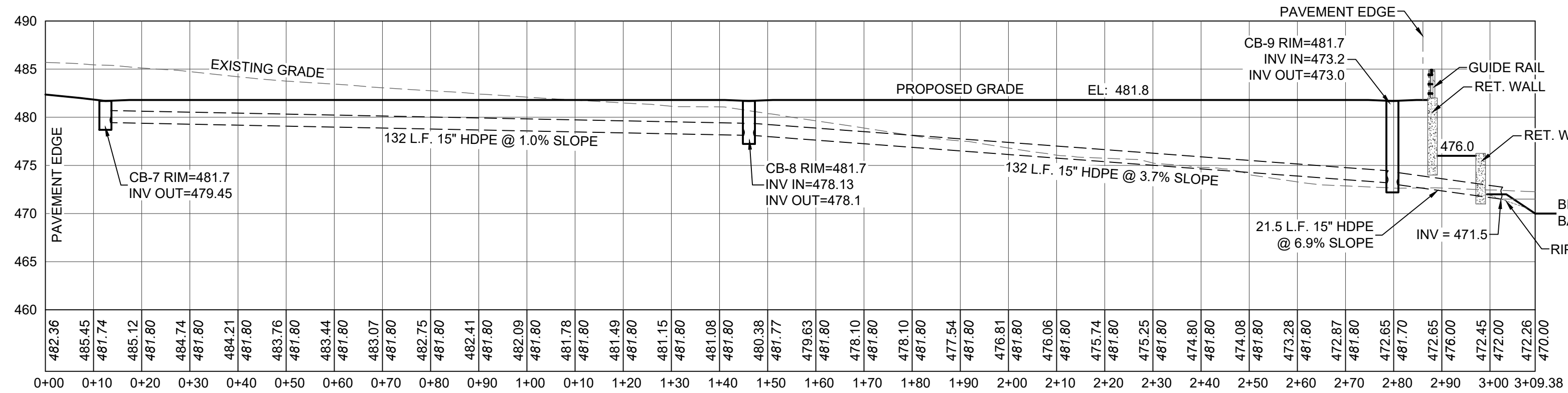




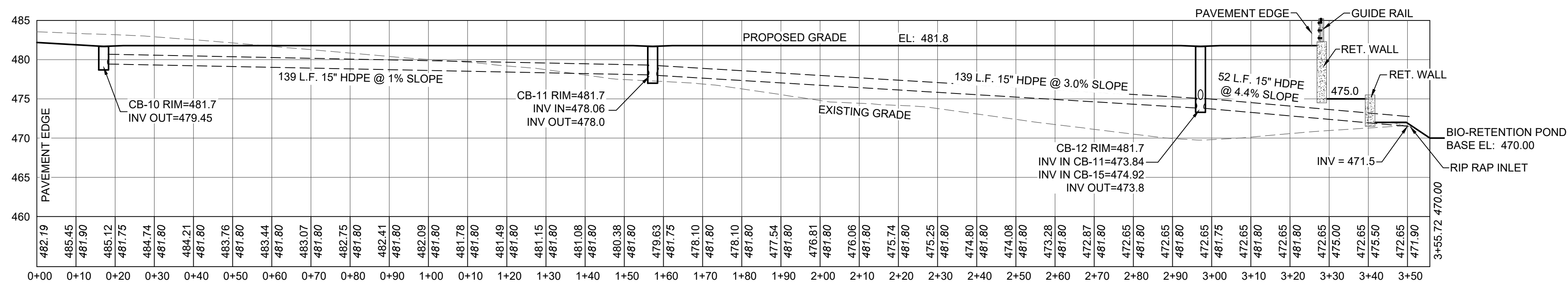
**DRAINAGE PROFILE 1**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-1 TO CB-6 S-10



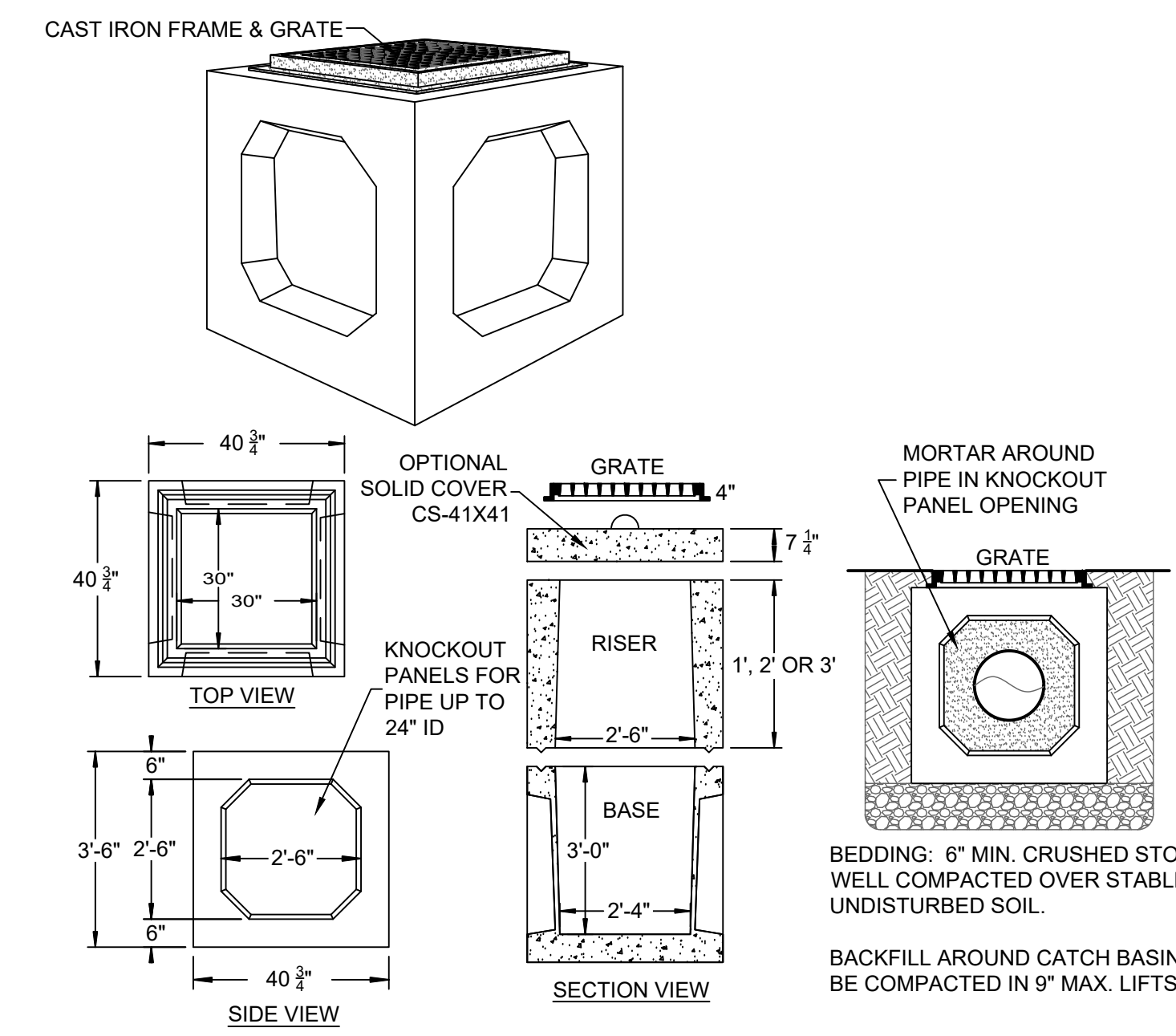
**DRAINAGE PROFILE 2**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-4 TO CB-6 S-10



**DRAINAGE PROFILE 3**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-7 TO BIO-RETENTION POND S-10



**DRAINAGE PROFILE 4**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-10 TO BIO-RETENTION POND S-10



SPECIFICATIONS		PRECAST CATCH BASIN MODEL CB-30X30
CONCRETE MIN. STRENGTH:	4,000 PSI AT 28 DAYS	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050
REINFORCEMENT:	#4 REBAR / ASTM A615	
AIR ENTRAINMENT:	5%	
CONSTRUCTION JOINT:	BUTYL RUBBER SEALANT	
WEIGHTS:	BASE = 2,200 LBS, RISER = 950 LBS/VF	
LOAD RATING:	H20 / ASTM C857	

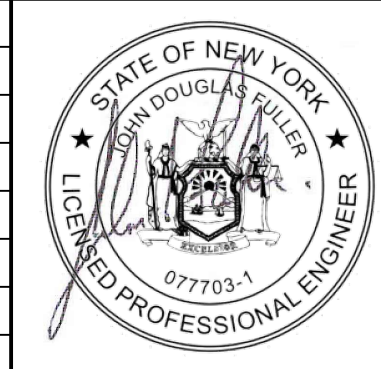
**TYPICAL CATCH BASIN DETAIL 5**  
 SCALE: N.T.S. S-10

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REVISIONS				
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DO	1	REVISED PER SWPPP	03/21/25	



JOHN D. FULLER  
 REG. NO. 077703

TOWN OF DEERPARK  
 PLANNING BOARD APPROVAL

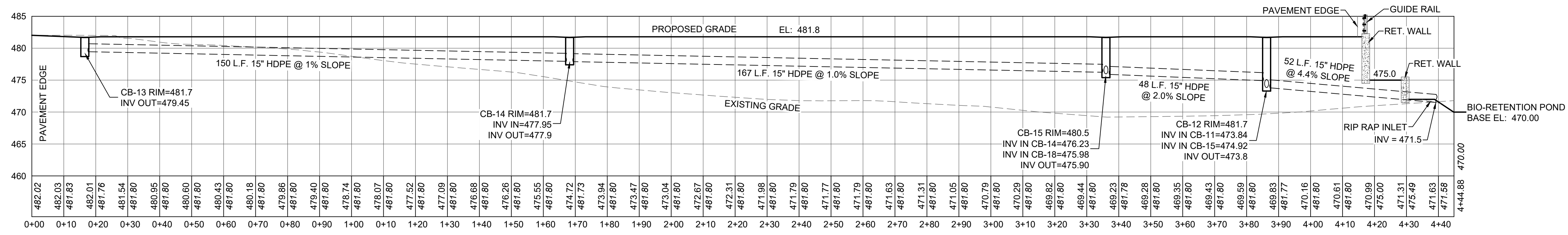
4 SOUTH STREET  
 PORT JERVIS, NY 12771  
 (845) 856-1536

ROUTE 97 SELF-STORAGE  
 122 & 126 N.Y.S. ROUTES 42 & 97  
 SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
 TOWN OF DEERPARK, NY

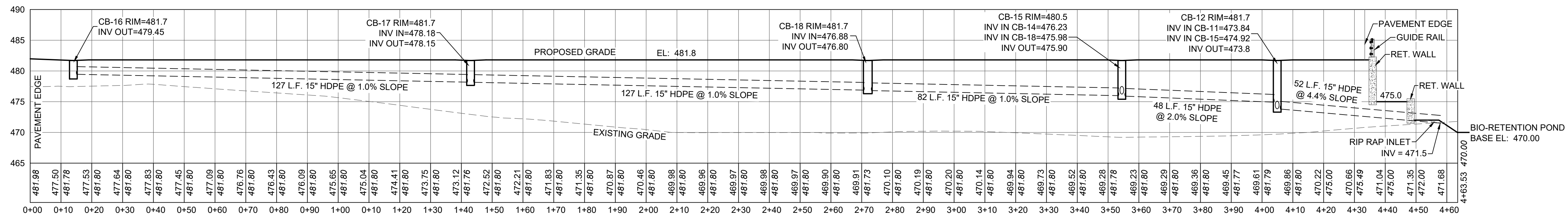
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 DWG NO.: **S-10**

SCALE: AS NOTED  
 JOB NO.: 1100.007

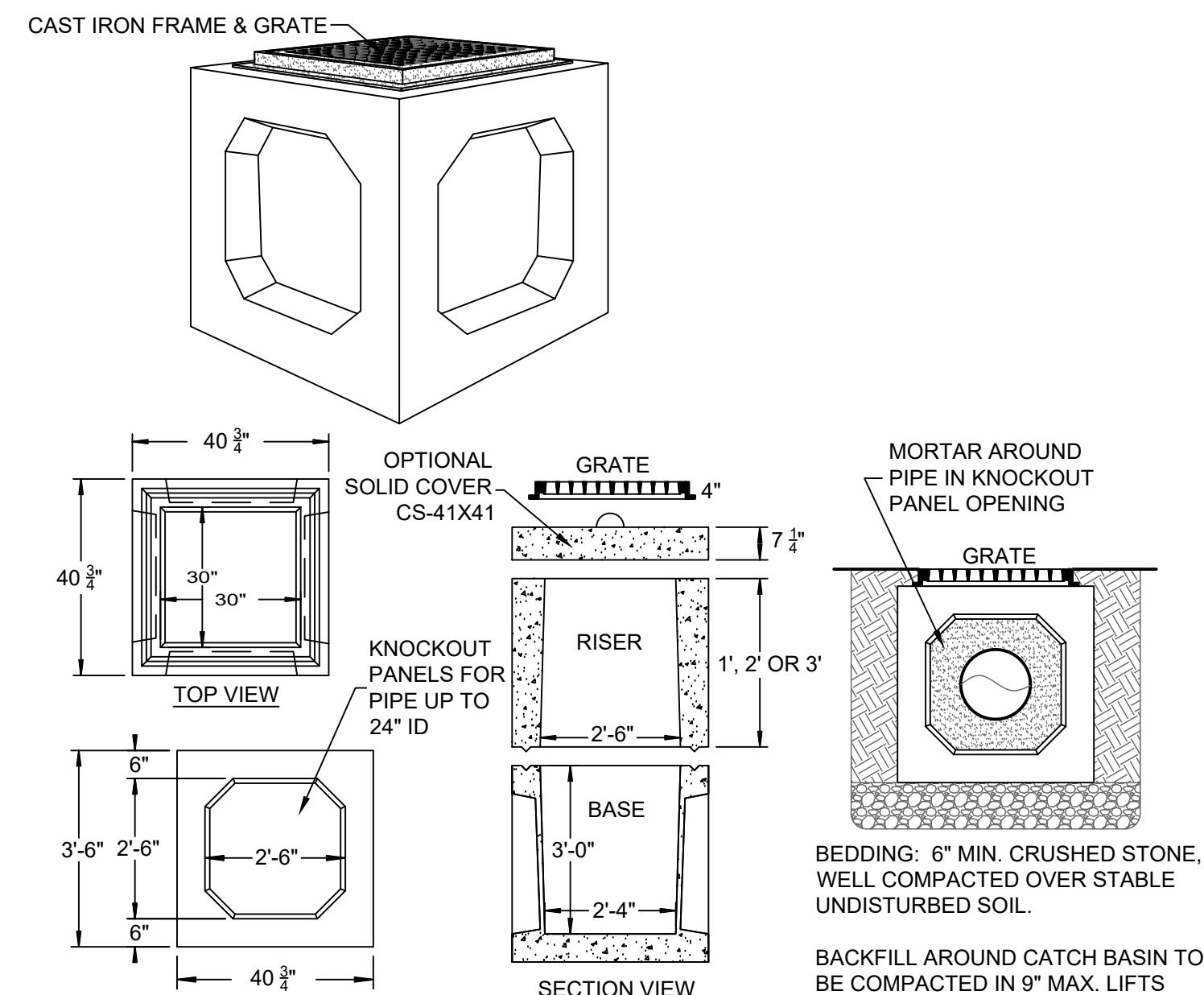




**DRAINAGE PROFILE**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-13 TO BIO-RETENTION POND



**DRAINAGE PROFILE**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'  
 CB-16 TO BIO-RETENTION POND



SPECIFICATIONS		PRECAST CATCH BASIN MODEL CB-30X30
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS	REINFORCEMENT: #4 REBAR / ASTM A615	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bulville, NY 10915 (845) 361-3471 / Fax 361-1050
AIR ENTRAINMENT: 5%	CONSTRUCTION JOINT: BUTYL RUBBER SEALANT	
WEIGHTS: BASE = 2,200 LBS, RISER = 950 LBS/VF	LOAD RATING: H20 / ASTM C857	

**TYPICAL CATCH BASIN DETAIL**  
 SCALE: N.T.S.

REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	02/26/25	
DO	1	REVISED PER SWPPP	03/21/25	



TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **DRAINAGE PROFILES**  
 DWG NO.: **S-11**

SCALE: AS NOTED  
 JOB NO.: 1100.007

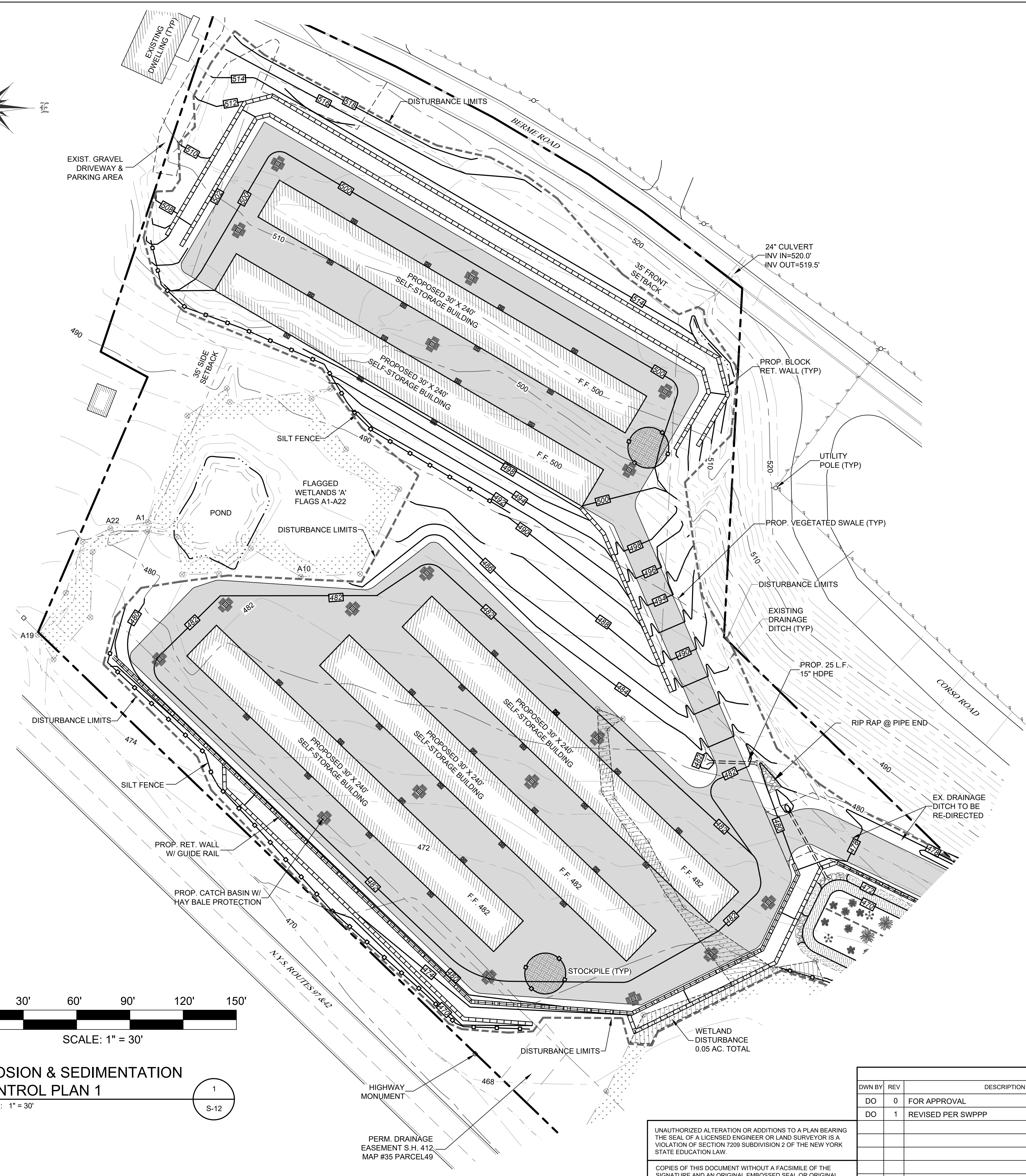
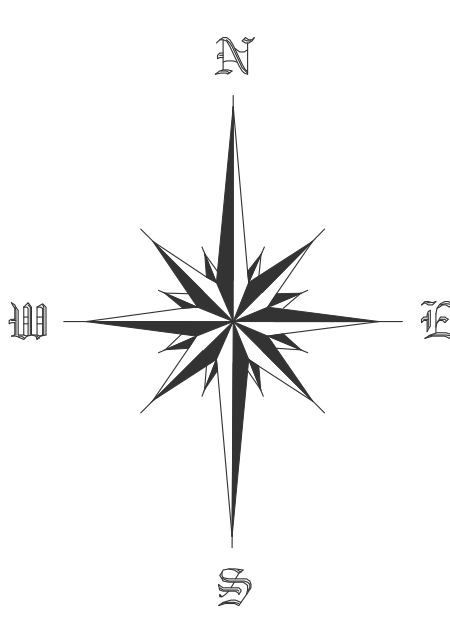
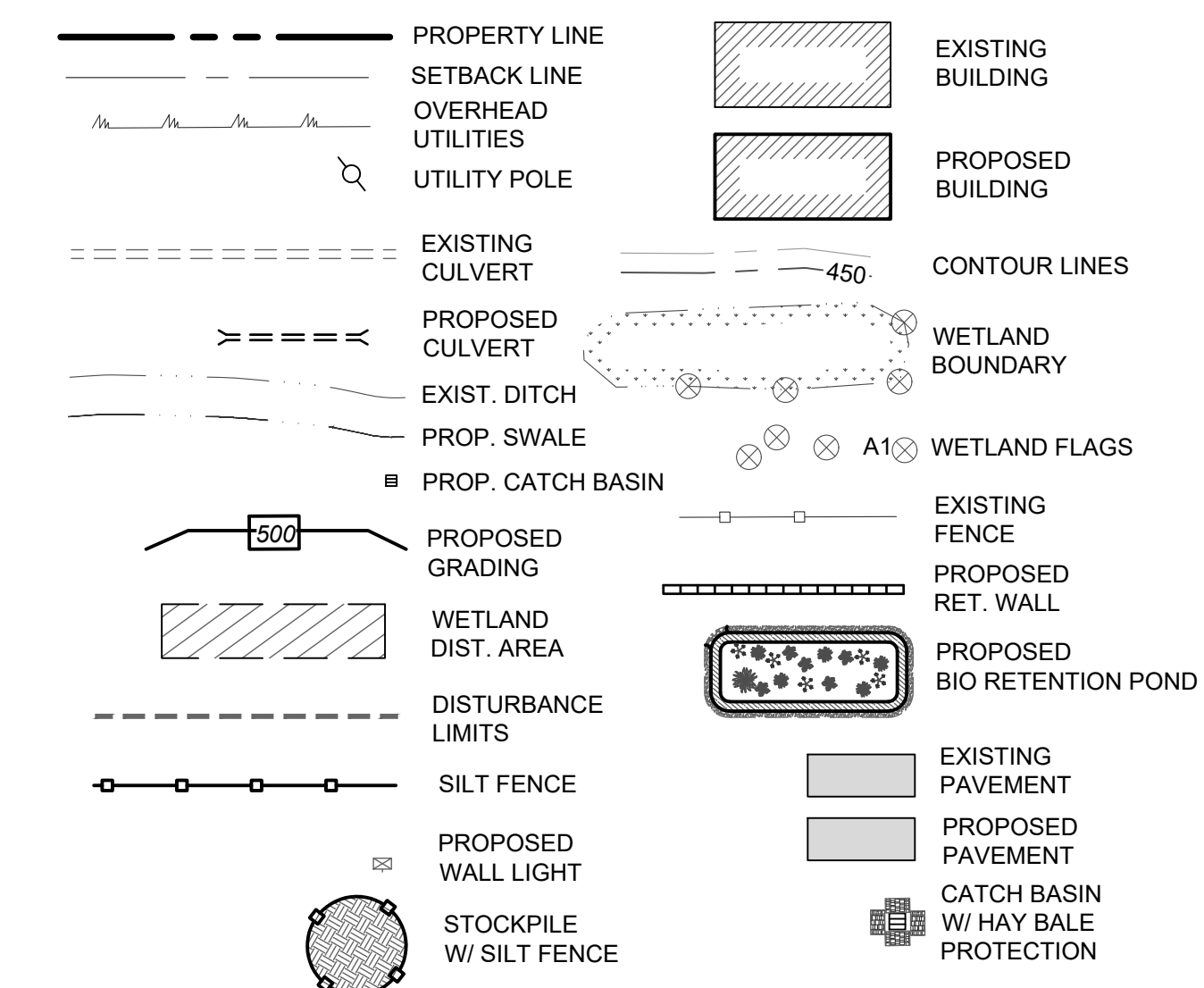
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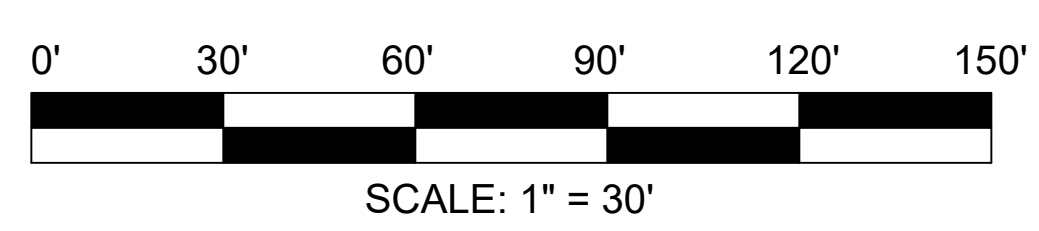
LEGEND



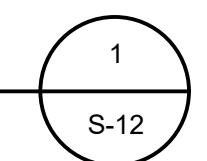
EROSION & SEDIMENTATION CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
10. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

AREA OF DISTURBANCE  
159,805 S.F. / 3.67± ACRES



EROSION & SEDIMENTATION CONTROL PLAN 1



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REVISIONS				
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JOHN D. FULLER  
REG. NO. 077703

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: EROSION & SEDIMENTATION CONTROL PLAN 1  
DWG NO.: S-12

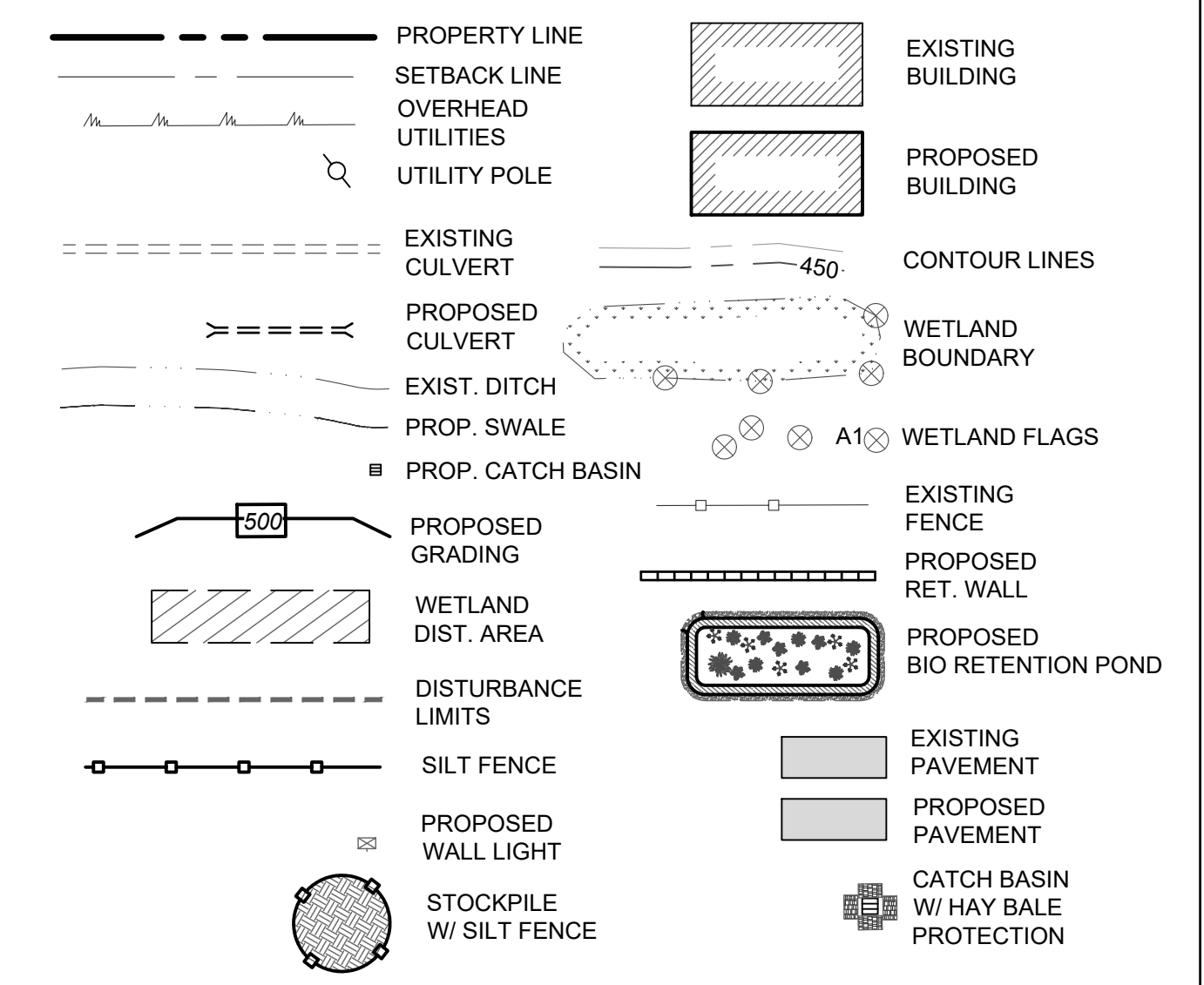
SCALE: AS NOTED  
JOB NO.: 1100.007

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL





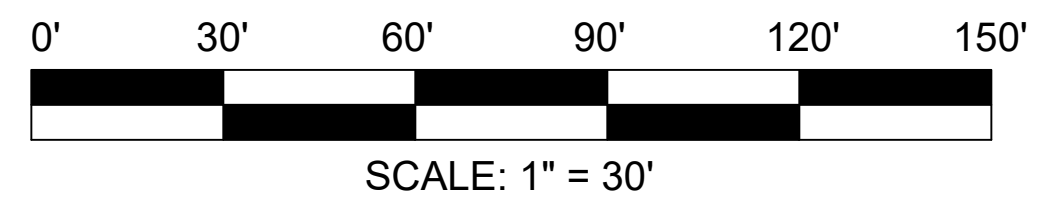
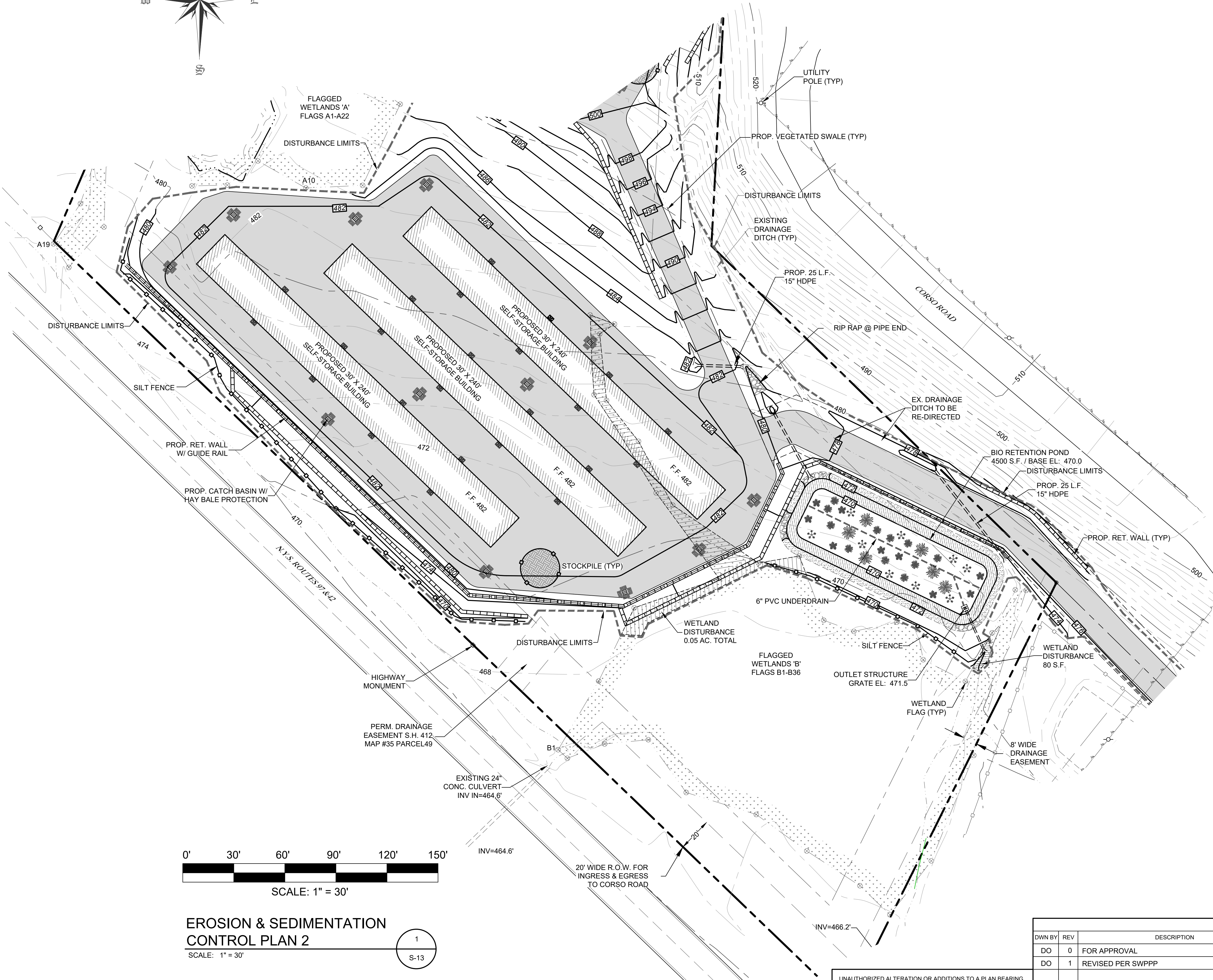
**LEGEND**



**EROSION & SEDIMENTATION CONTROL NOTES**

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
10. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

**AREA OF DISTURBANCE**  
159,805 S.F. / 3.67± ACRES



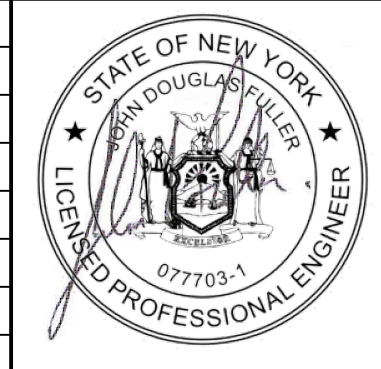
**EROSION & SEDIMENTATION CONTROL PLAN 2**  
SCALE: 1" = 30'

1  
S-13

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REVISIONS				
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DO	0	FOR APPROVAL	02/26/25	
DO	1	REVISED PER SWPPP	03/21/25	



JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

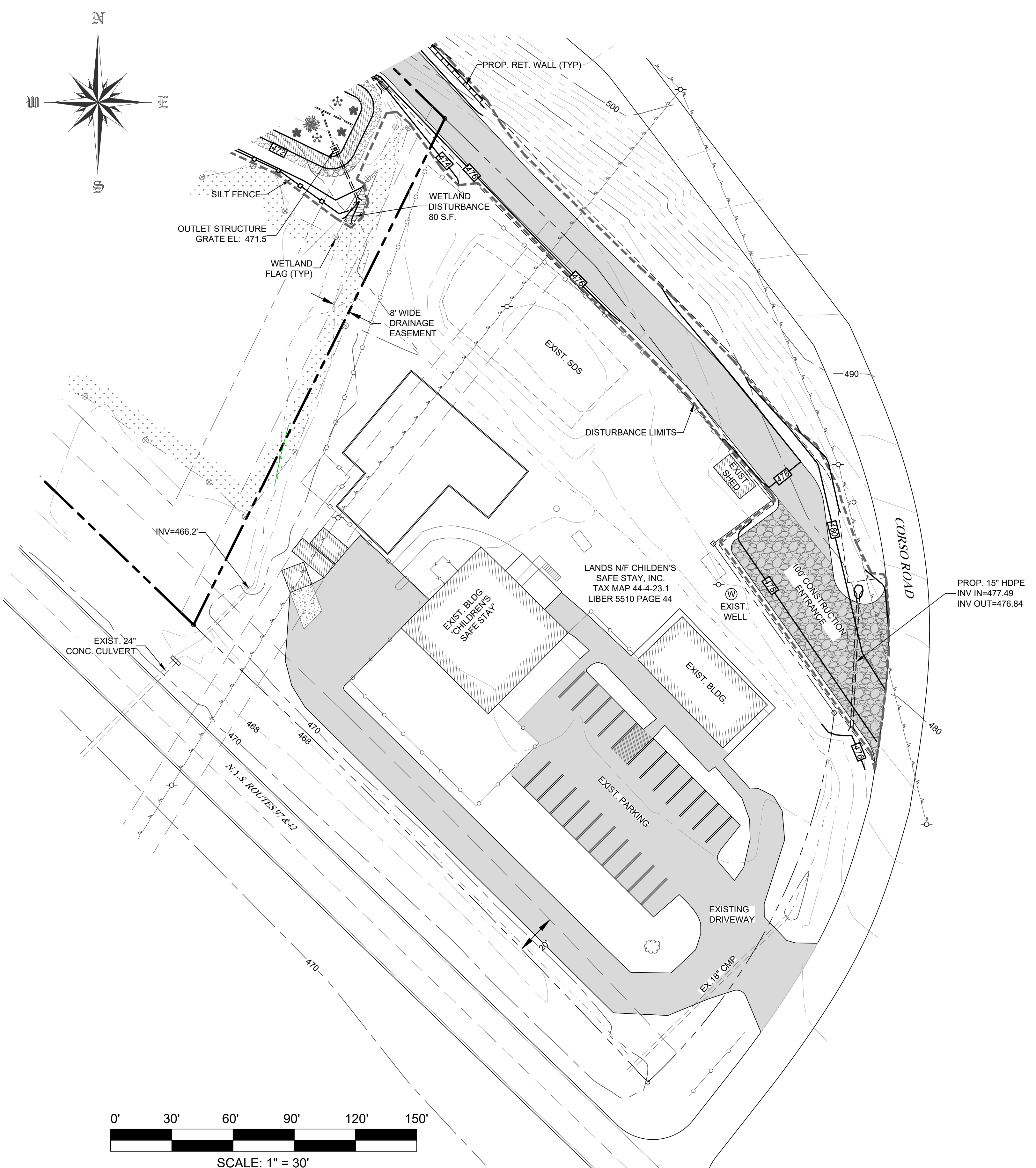
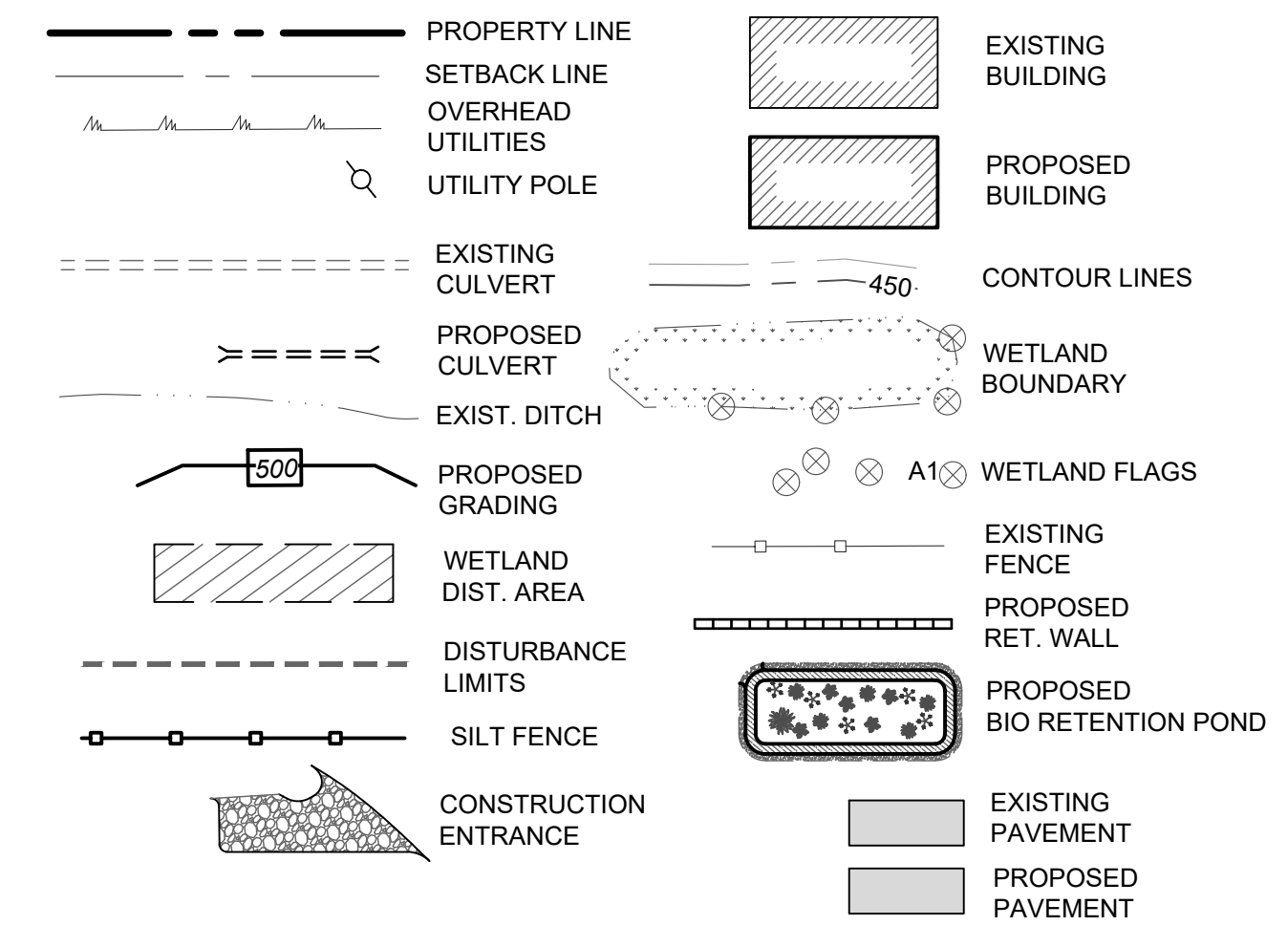
ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **EROSION & SEDIMENTATION CONTROL PLAN 2** DWG NO.: **S-13**

SCALE: AS NOTED JOB NO.: 1100.007



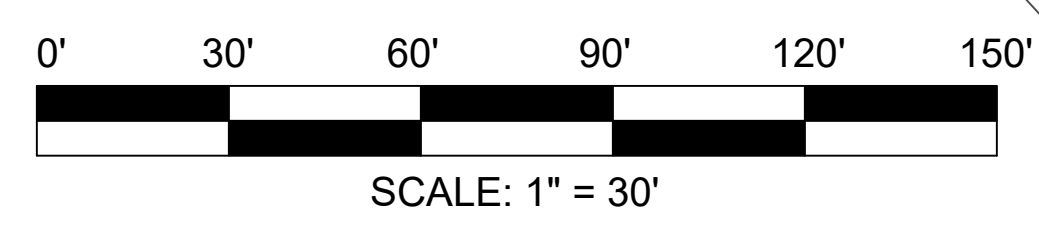
**LEGEND**



**EROSION & SEDIMENTATION CONTROL NOTES**

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
10. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

**AREA OF DISTURBANCE**  
159,805 S.F. / 3.67± ACRES



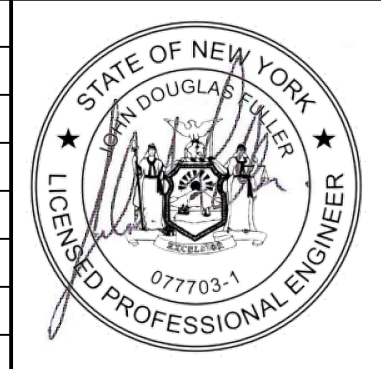
**EROSION & SEDIMENTATION CONTROL PLAN 3**  
SCALE: 1" = 30'

1  
S-14

THIS PLAN CONTAINS 19 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
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DO	1	REVISED PER SWPPP	03/21/25	



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ROUTE 97 SELF-STORAGE  
122 & 126 N.Y.S. ROUTES 42 & 97  
SECTION 44 BLOCK 4 LOTS 23.22 & 23.21  
TOWN OF DEERPARK, NY

DWG TITLE: **EROSION & SEDIMENTATION CONTROL PLAN 3**  
SCALE: AS NOTED  
JOB NO. 1100.007  
DWG NO. **S-14**



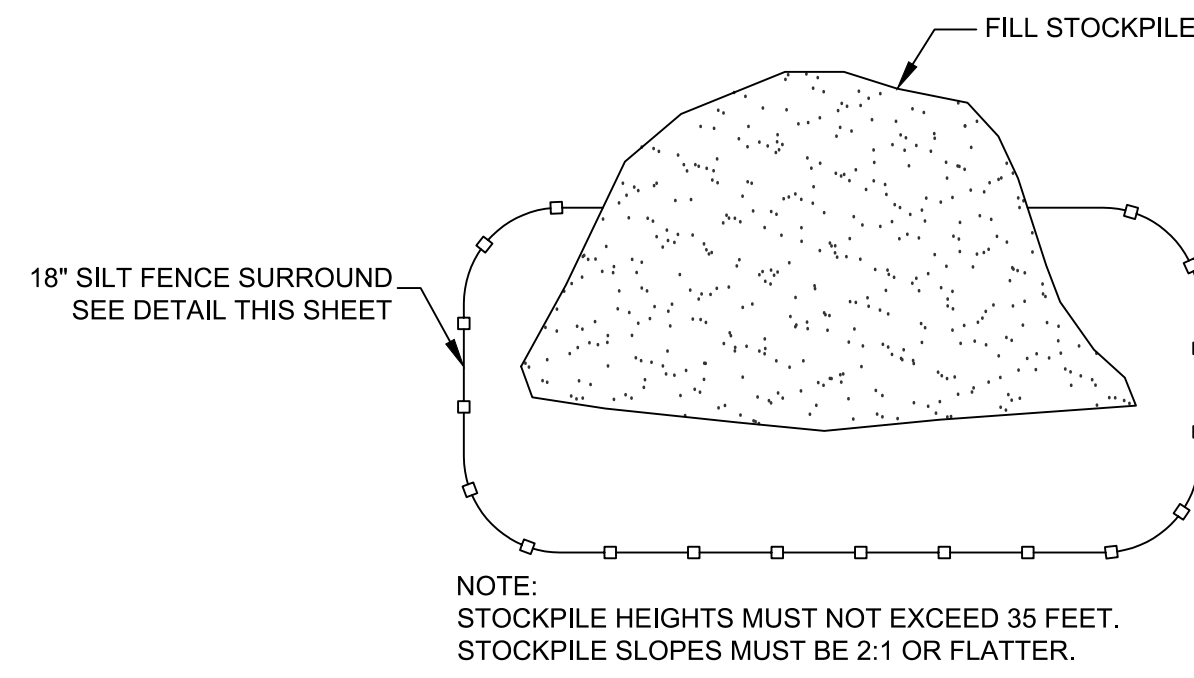
# SEEDING AND MULCHING SPECIFICATIONS

## TEMPORARY STABILIZATION:

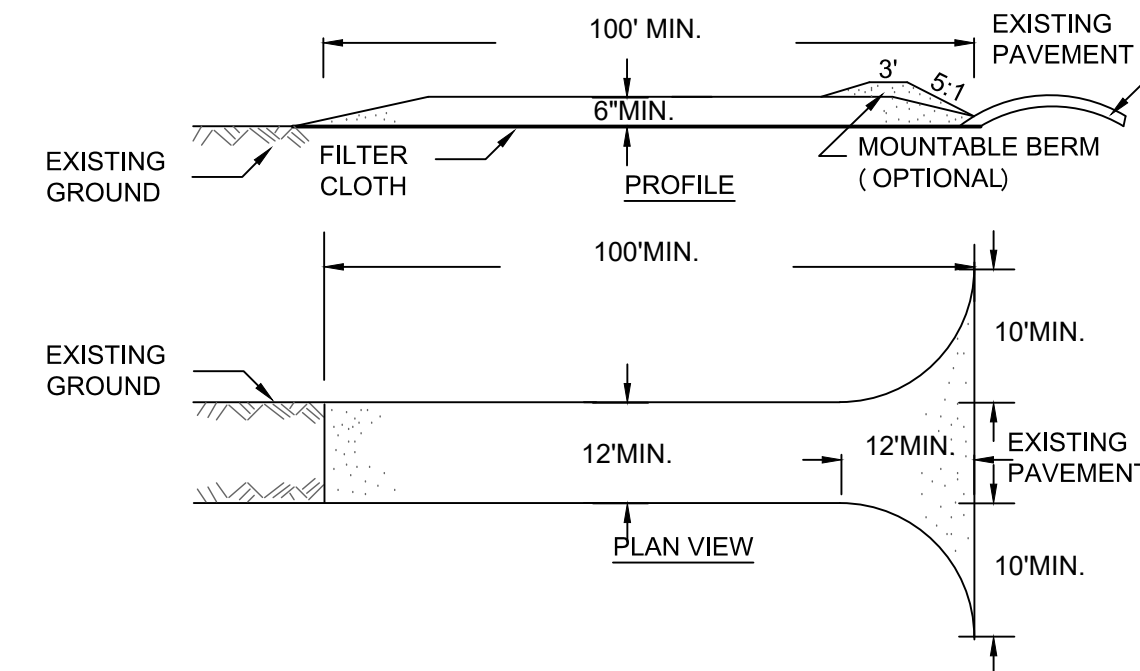
	TYPE	RATE
SEED	ANNUAL RYE GRASS	1 LB/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	1.0 TONS/ACRE
FERTILIZER	10-20-10	50 LBS./ACRE

## PERMANENT STABILIZATION:

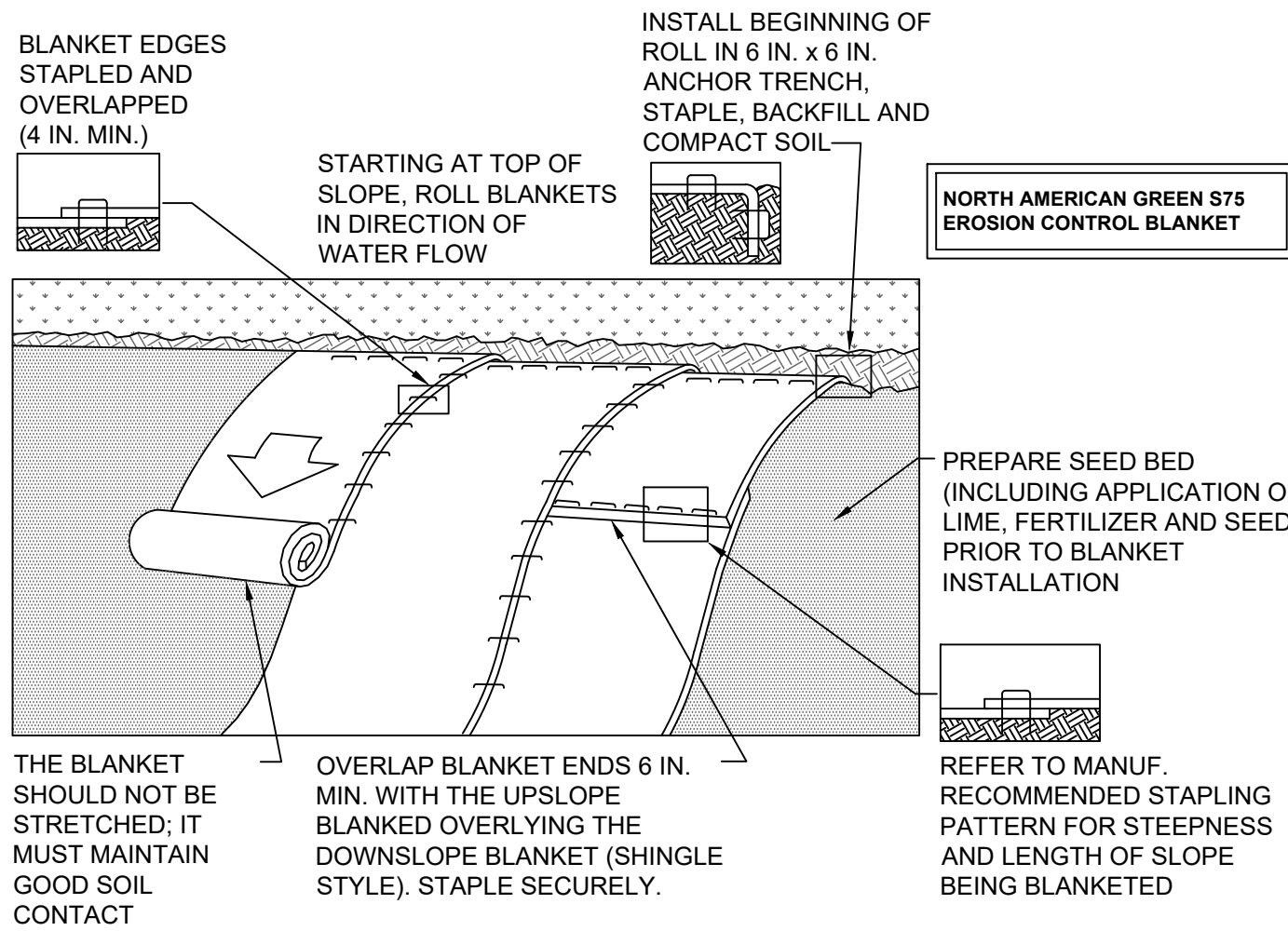
	TYPE	RATE
SEED	PERENNIAL RYE GRASS (20%) REDTOP (50%) ORCHARD GRASS (30%)	0.45 LBS/1,000 SQ FT 0.35 LBS/1,000 SQ FT 1.4 LBS/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	6.0 TONS/ACRE
FERTILIZER	10-20-10	1,000 LBS./ACRE



**STOCKPILE DETAIL** 2  
SCALE: NONE S-15



**CONSTRUCTION ENTRANCE** 3  
SCALE: N. T. S. S-15



**SLOPE MATTING INSTALLATION DETAIL** 1  
SCALE: NONE S-15

**NOTES:**

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

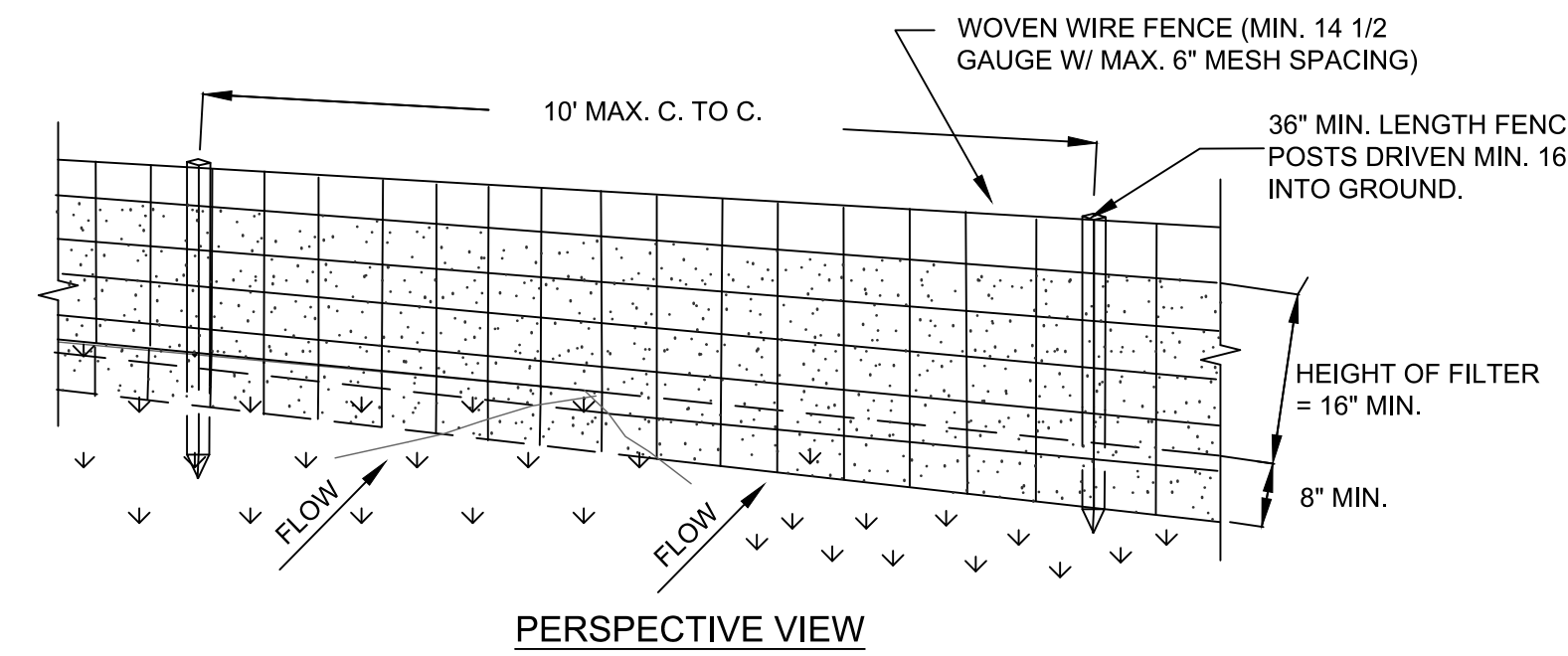
PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

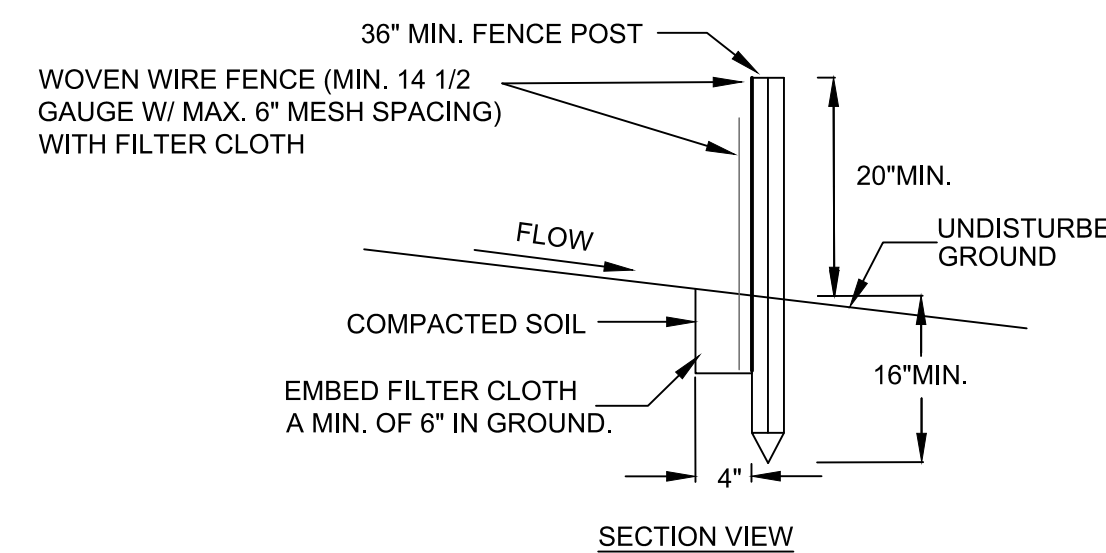
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH STORMWATER EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



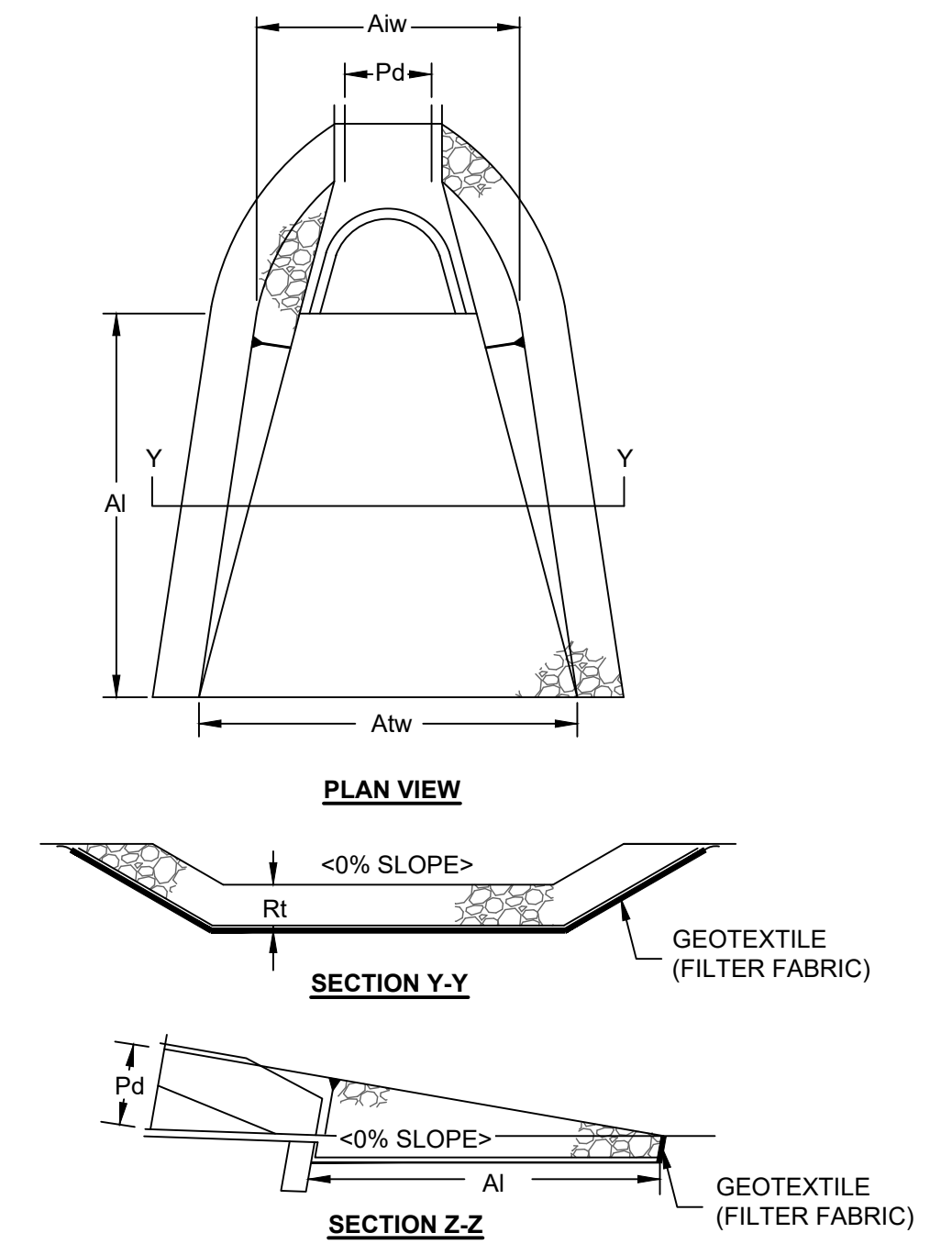
**PERSPECTIVE VIEW**



**SILT FENCE DETAIL** 4  
SCALE: NTS S-15

## CONSTRUCTION SPECIFICATIONS

- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS = NOT LESS THAN SIX (6) INCHES.
- WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON	
		SIZE (R-)	THICK. Rt (IN)	LENGTH Ai (FT)	TERMINAL WIDTH Atw (FT)
ALL	15	4	6	15	3
-	-	-	-	-	10
-	-	-	-	-	-

**RIP RAP APRON DETAIL** 5  
SCALE: N. T. S. S-15

## CONSTRUCTION SPECIFICATIONS

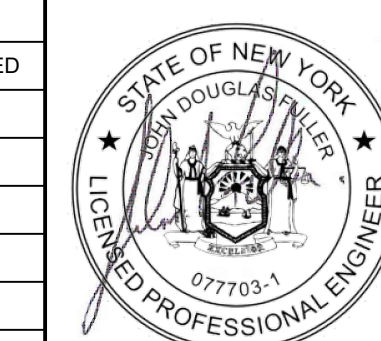
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

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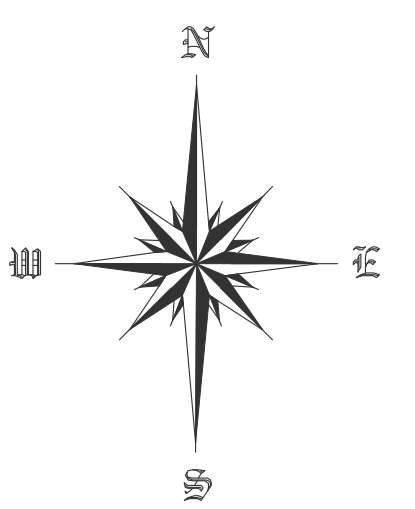
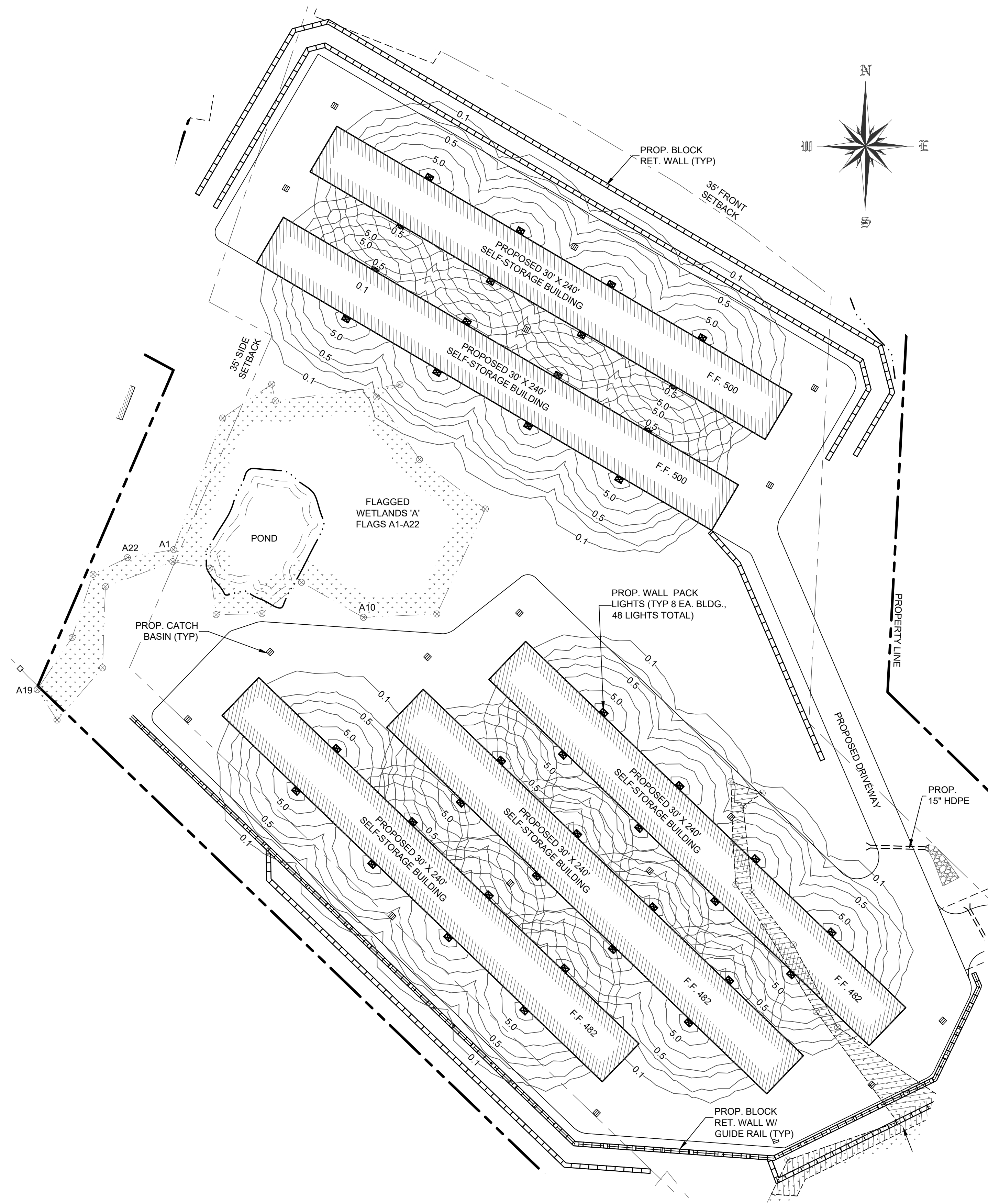
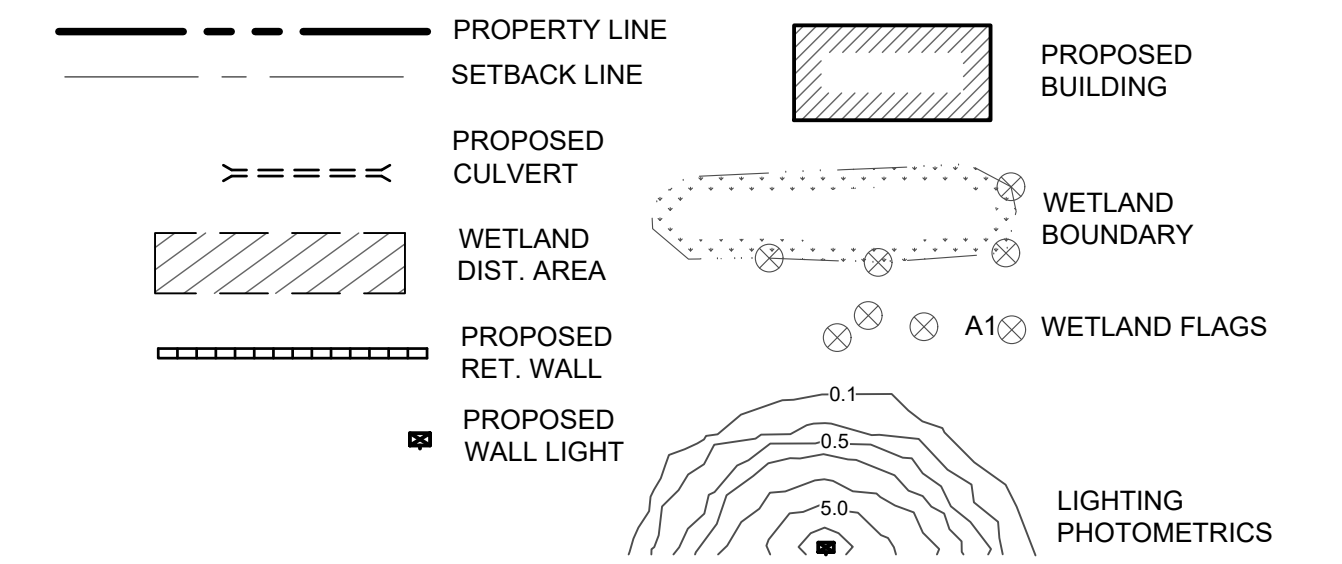
ROUTE 97 SELF-STORAGE  
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DWG TITLE: **EROSION & SEDIMENTATION CONTROL PLAN DETAILS** DWG NO. **S-15**

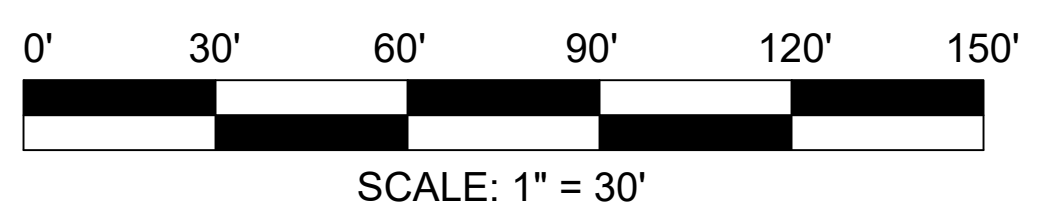
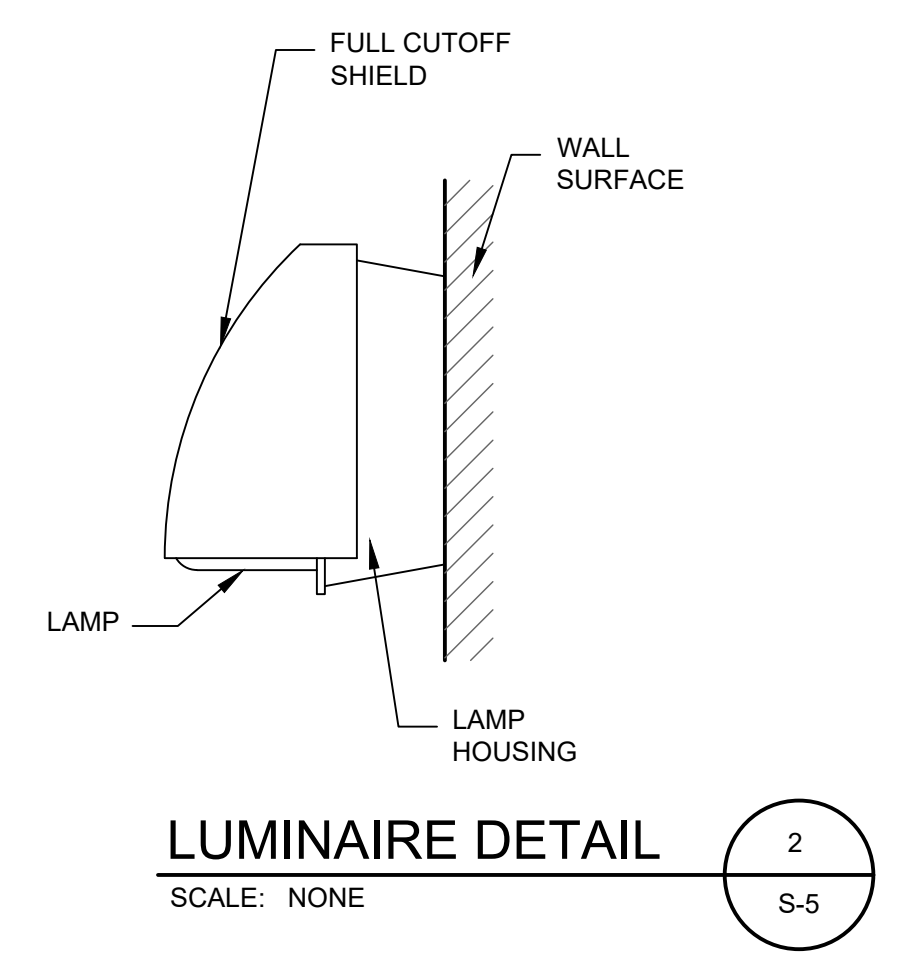
SCALE: AS NOTED JOB NO. 1100.007



**LEGEND**



LIGHTING SCHEDULE				
SYMBOL	QTY	DESCRIPTION	LAMP	MOUNTING HEIGHT
[Square with X]	48	LITHONIA TWR1 LED 1 50K MVOLT M2 - LED WALL PACK	150W EQUIVALENT LED (35 WATT)	12±



**LIGHTING PLAN**  
SCALE: 1" = 30'

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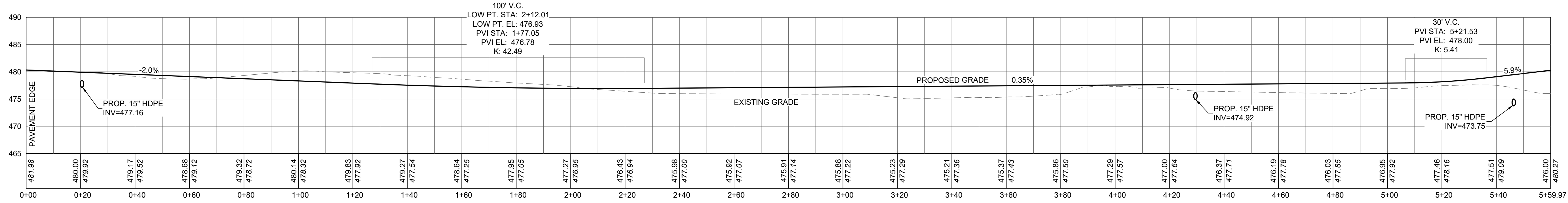
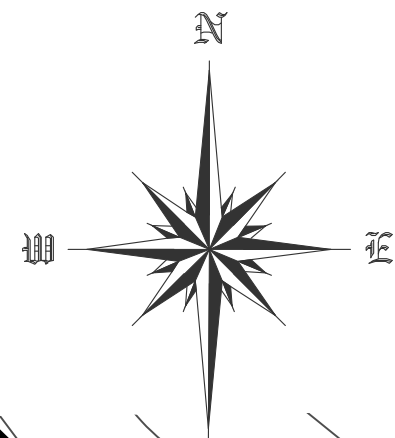
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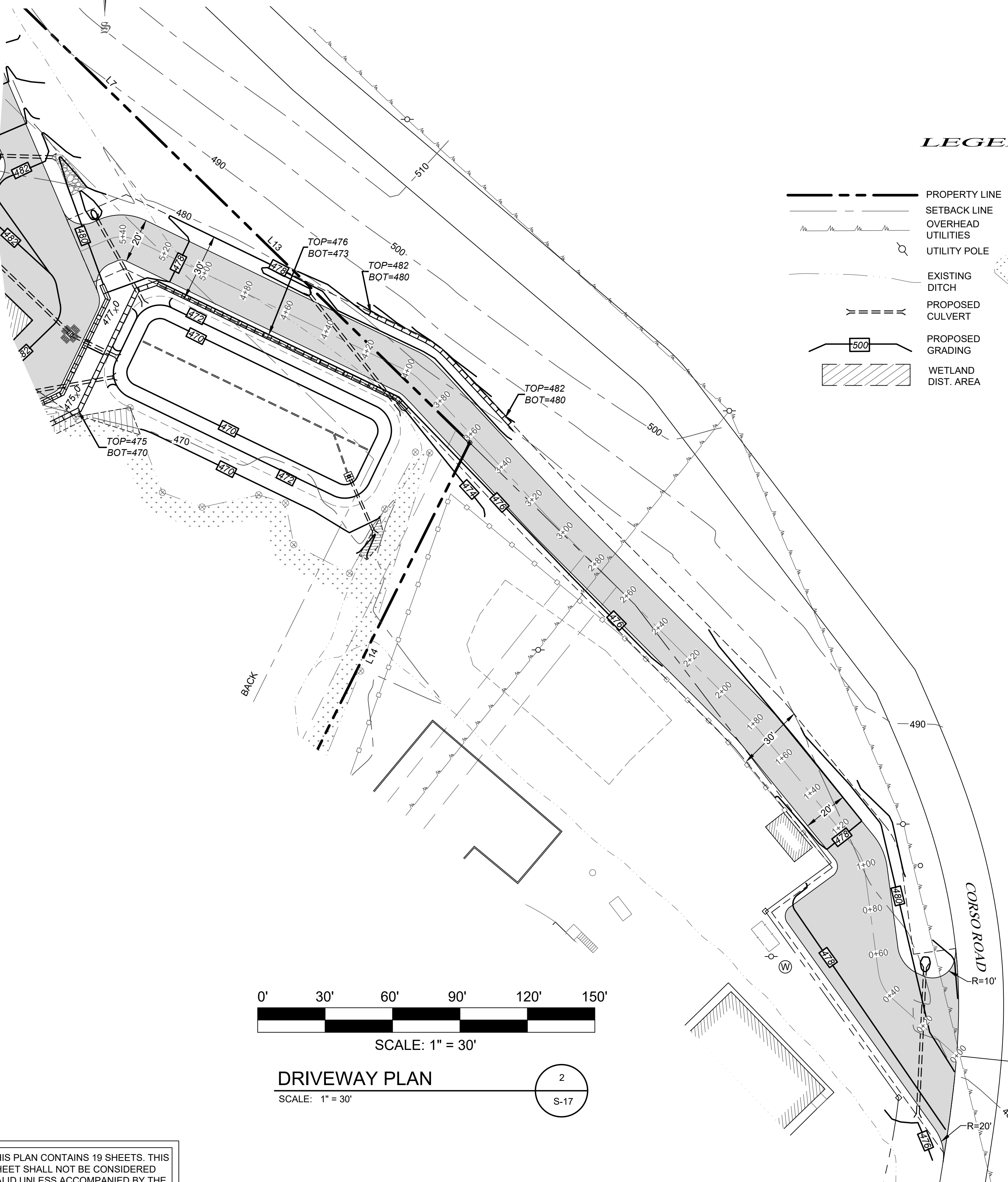


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 TOWN OF DEERPARK, NY  
 DWG TITLE: **LIGHTING PLAN**  
 DWG NO.: **S-16**  
 SCALE: AS NOTED  
 JOB NO. 1100.007





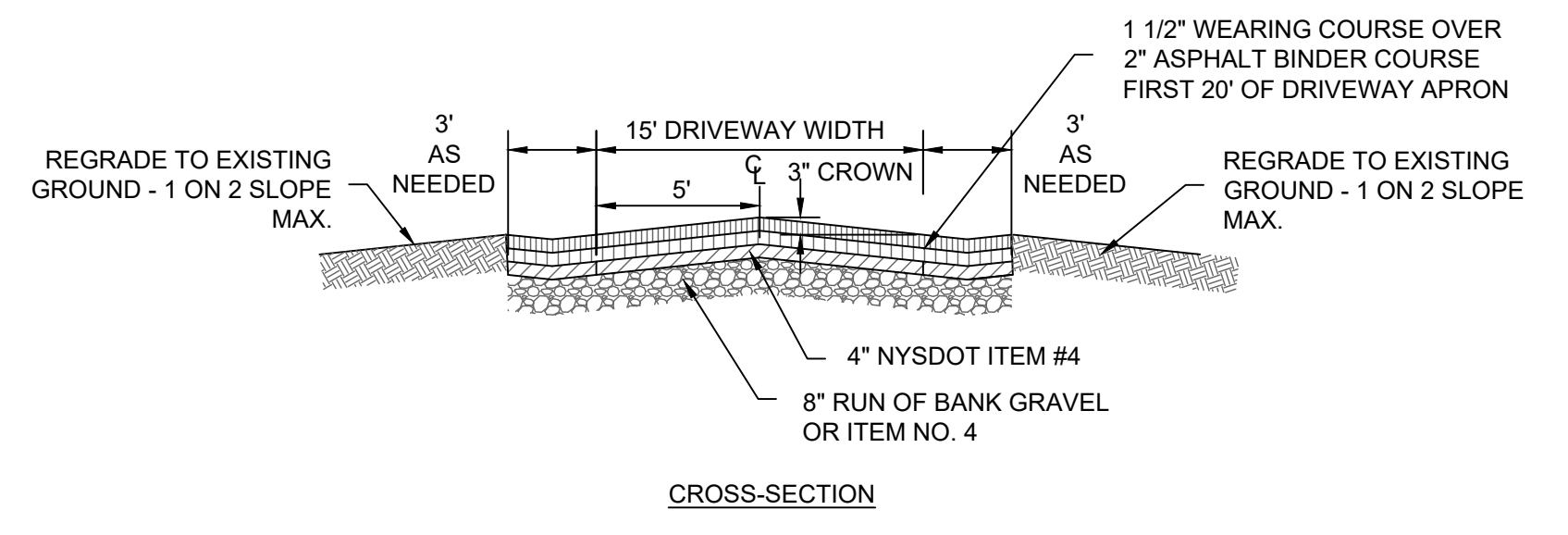
**DRIVEWAY PROFILE**  
 SCALE: HORZ: 1" = 20'  
 VERT: 1" = 10'



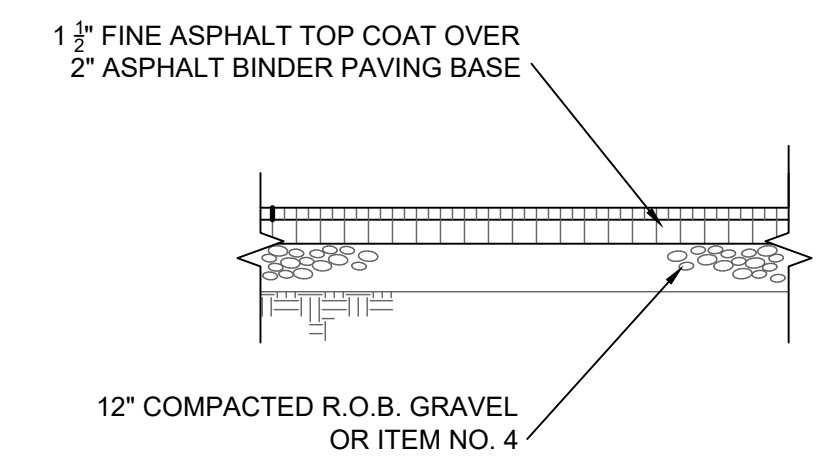
**DRIVEWAY PLAN**  
 SCALE: 1" = 30'

**LEGEND**

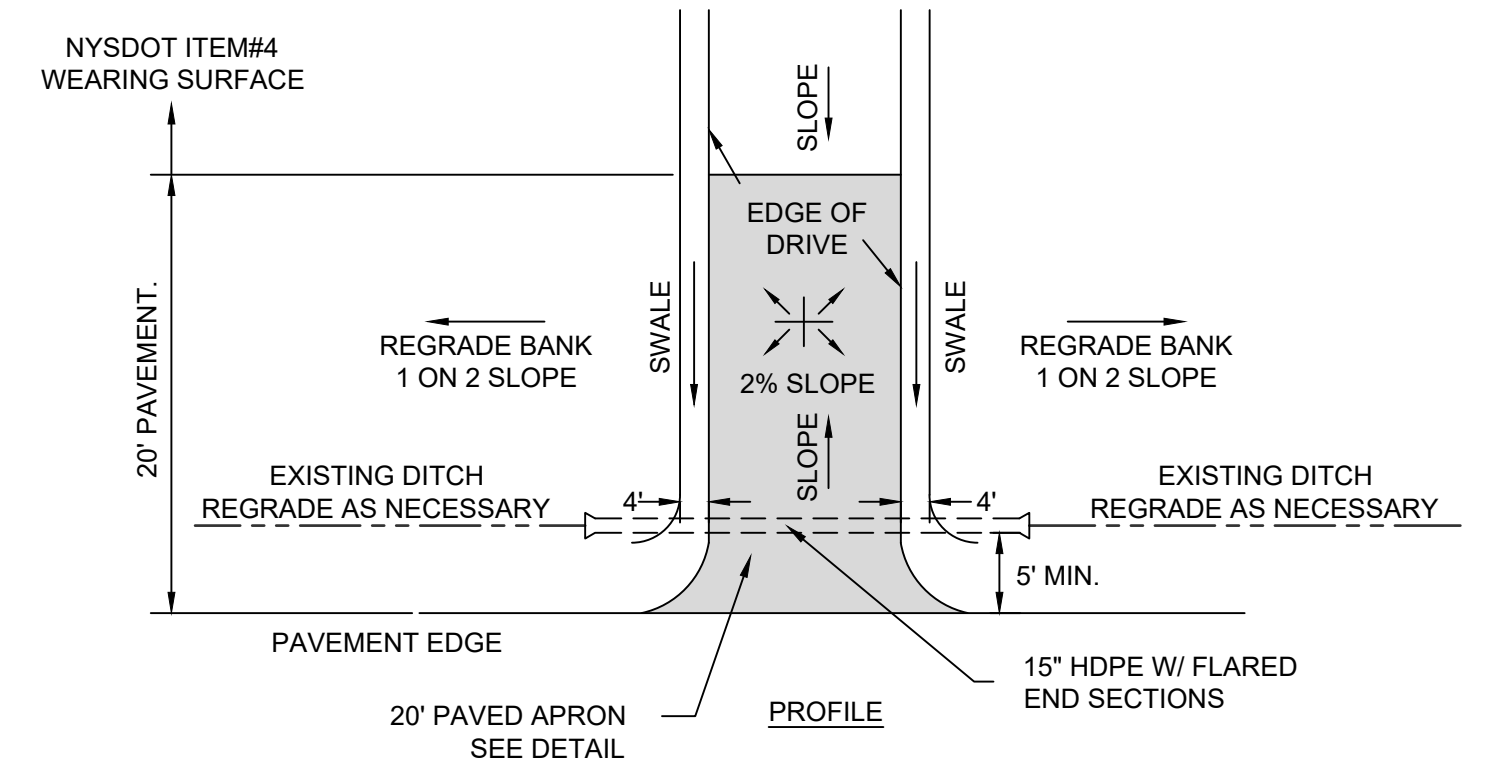
- PROPERTY LINE
- - - SETBACK LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- - - EXISTING DITCH
- - - PROPOSED CULVERT
- - - PROPOSED GRADING
- ▨ WETLAND DIST. AREA
- ▨ EXISTING BUILDING
- 450' CONTOUR LINES
- ▨ WETLAND BOUNDARY
- ⊗ A1 ⊗ WETLAND FLAGS
- - - PROPOSED RET. WALL
- ▭ PROPOSED BIO RETENTION POND



CROSS-SECTION



**SITE PAVING DETAIL**  
 SCALE: N. T. S.



**TYPICAL DRIVEWAY DETAIL**  
 SCALE: NONE

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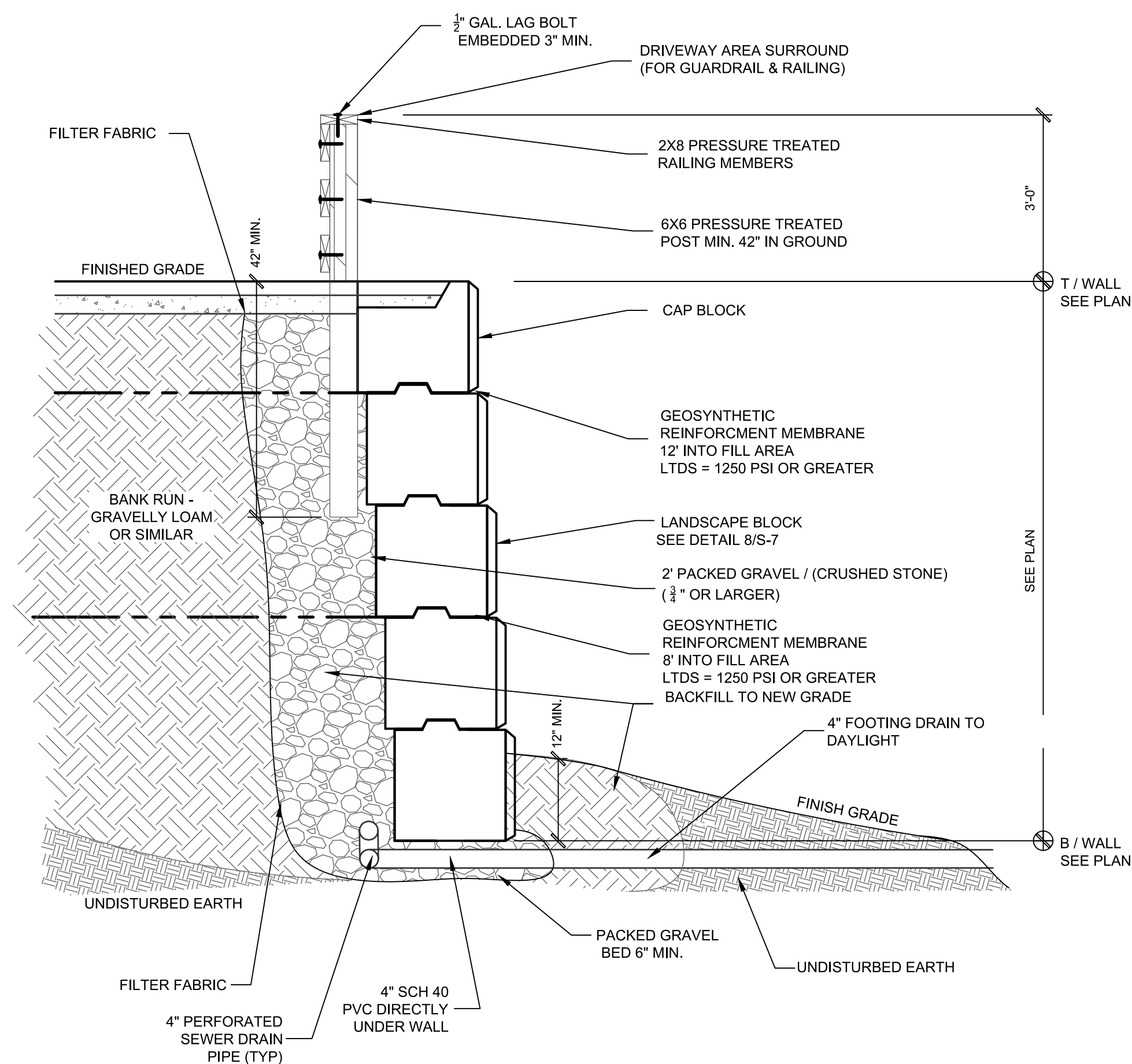
**JOHN D. FULLER, P.E., P.C.**

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DWG TITLE: **DRIVEWAY PLAN & PROFILE**  
 DWG NO.: **S-17**

SCALE: AS NOTED  
 JOB NO.: 1100.007

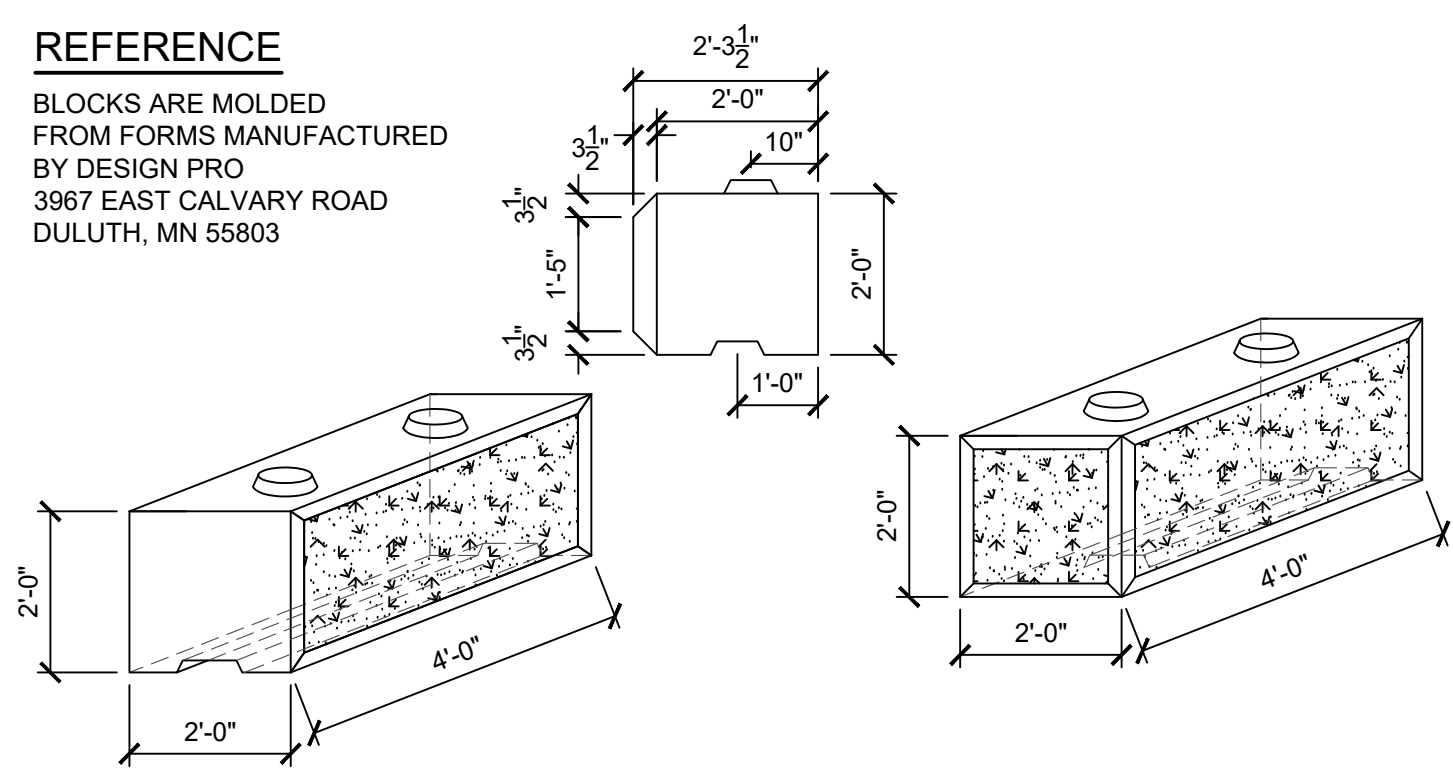




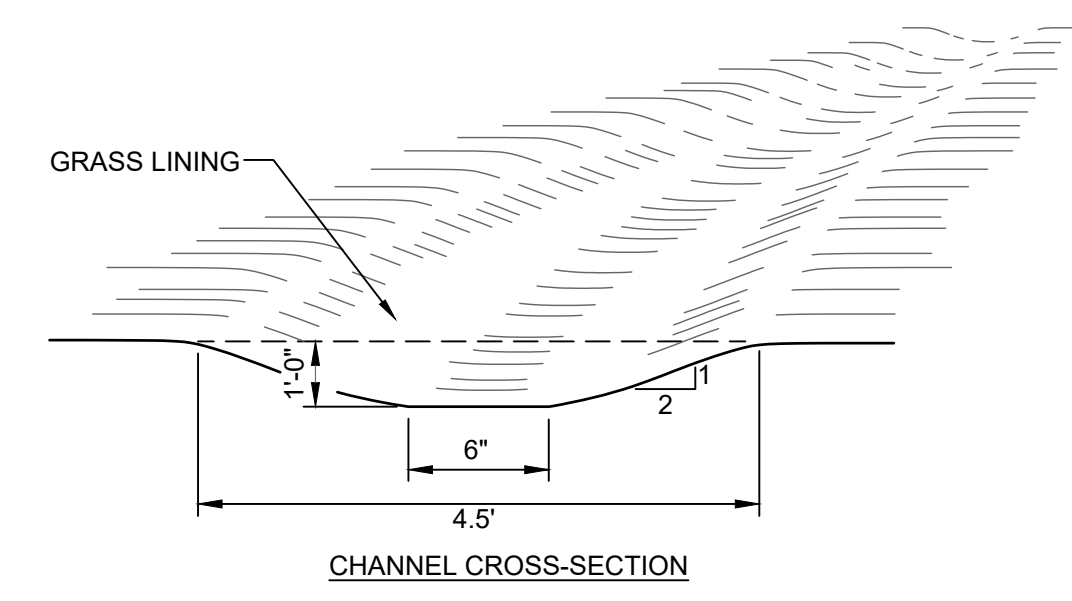
NOTE: A STAMPED SET OF PLANS FOR THE PROPOSED RETAINING WALL WILL BE SUBMITTED FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION.

**GUIDE RAIL / RETAINING WALL DETAIL**  
SCALE: N. T. S.

**REFERENCE**  
BLOCKS ARE MOLDED FROM FORMS MANUFACTURED BY DESIGN PRO 3967 EAST CALVARY ROAD DULUTH, MN 55803



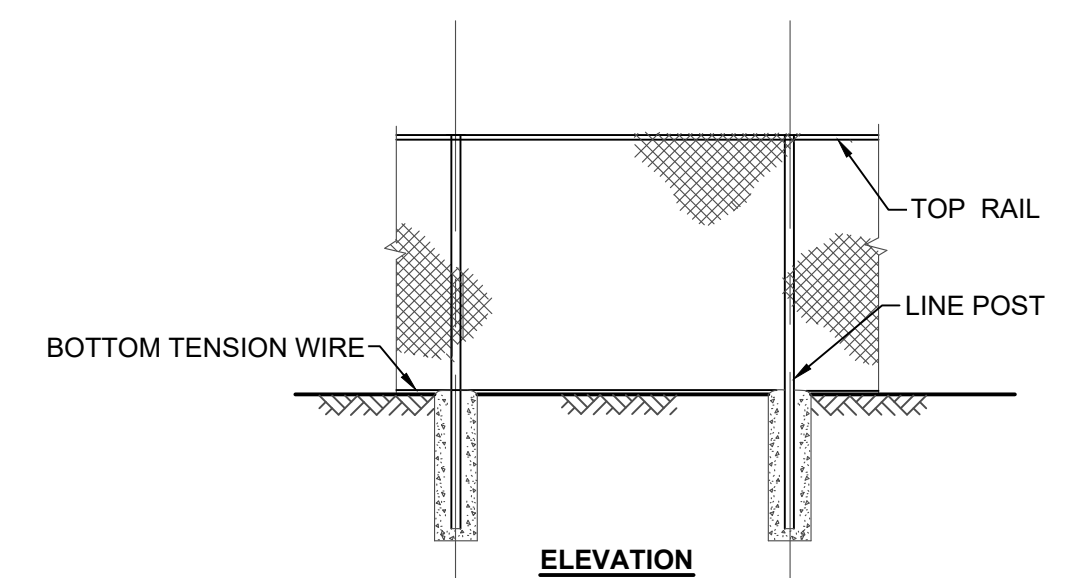
**TYPICAL RETAINING WALL BLOCK DETAIL**  
SCALE: N. T. S.



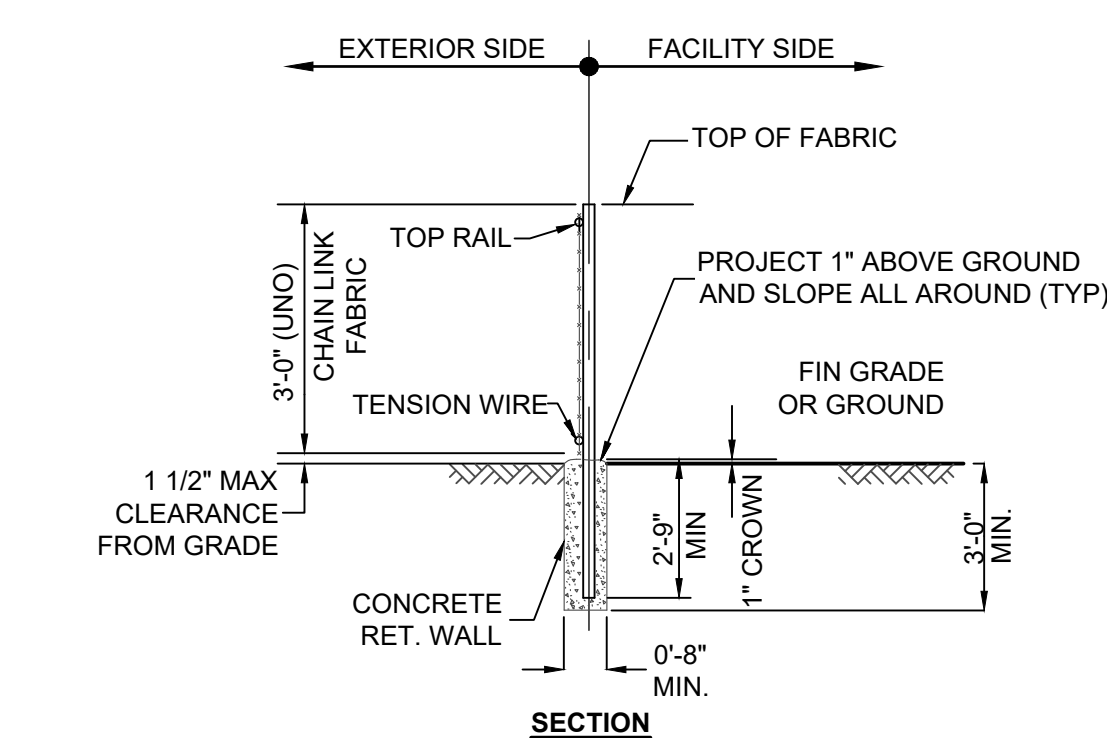
CHANNEL CROSS-SECTION

- CONSTRUCTION SPECIFICATIONS:**
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
  2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS
  3. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY, OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
  4. FILL SHALL BE COMPACTED AS NEEDED IN CONSTRUCTION TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED WATERWAY.

**VEGETATED SWALE DETAIL**  
SCALE: N. T. S.



ELEVATION



SECTION

**TYPICAL WOVEN WIRE FENCING NOTES**  
(INSTALL FENCING PER ASTM F-567)  
NOTES:

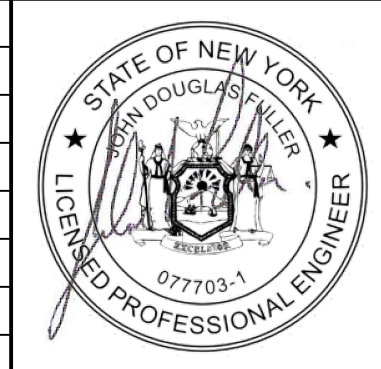
1. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
2. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. FABRIC: 11 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
4. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
5. TENSION WIRE: 7 GA. GALVANIZED STEEL.
6. HEIGHT = 3' VERTICAL.
7. LINE POSTS ARE 5' O.C. NOMINAL AND NOT TO EXCEED 10'
8. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

**CHAIN LINK FENCE DETAIL**  
SCALE: N. T. S.

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DWG TITLE: **CONSTRUCTION DETAILS**  
SCALE: AS NOTED

DWG NO.: **S-18**  
JOB NO.: 1100.007